

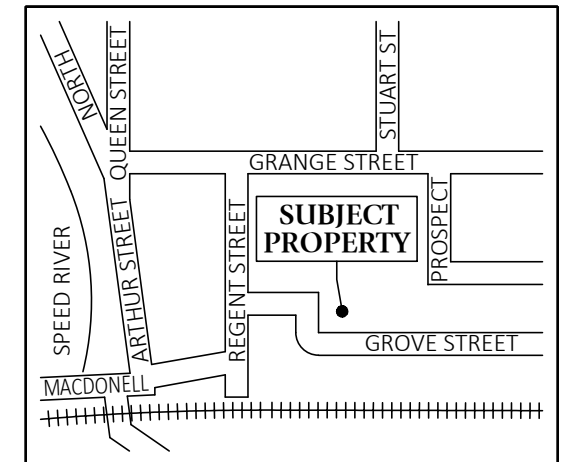
A TO PERMIT THE PARKING SPACES TO BE IN FRONT OF THE MAIN WALL OF THE DWELLING INSTEAD OF TO THE REAR AS REQUIRED IN SECTION 4.13.2.1 OF THE ZONING BY-LAW.

B TO PERMIT A PORTION OF THE DRIVEWAY TO HAVE A MAXIMUM WIDTH OF 11.5m INSTEAD OF 6.5m AS REQUIRED IN SECTION 4.13.7.2.1.ii) OF THE ZONING BY-LAW.

**ALL OF LOT 12 AND PART OF LOT 13,
REGISTERED PLAN 227
CITY OF GUELPH
COUNTY OF WELLINGTON**

A horizontal number line representing distance in meters. It is marked with 0, 5, 10, and 15. The segment between 0 and 5 is white. The segment between 5 and 10 is black. The segment between 10 and 15 is white.

KEYMAP:



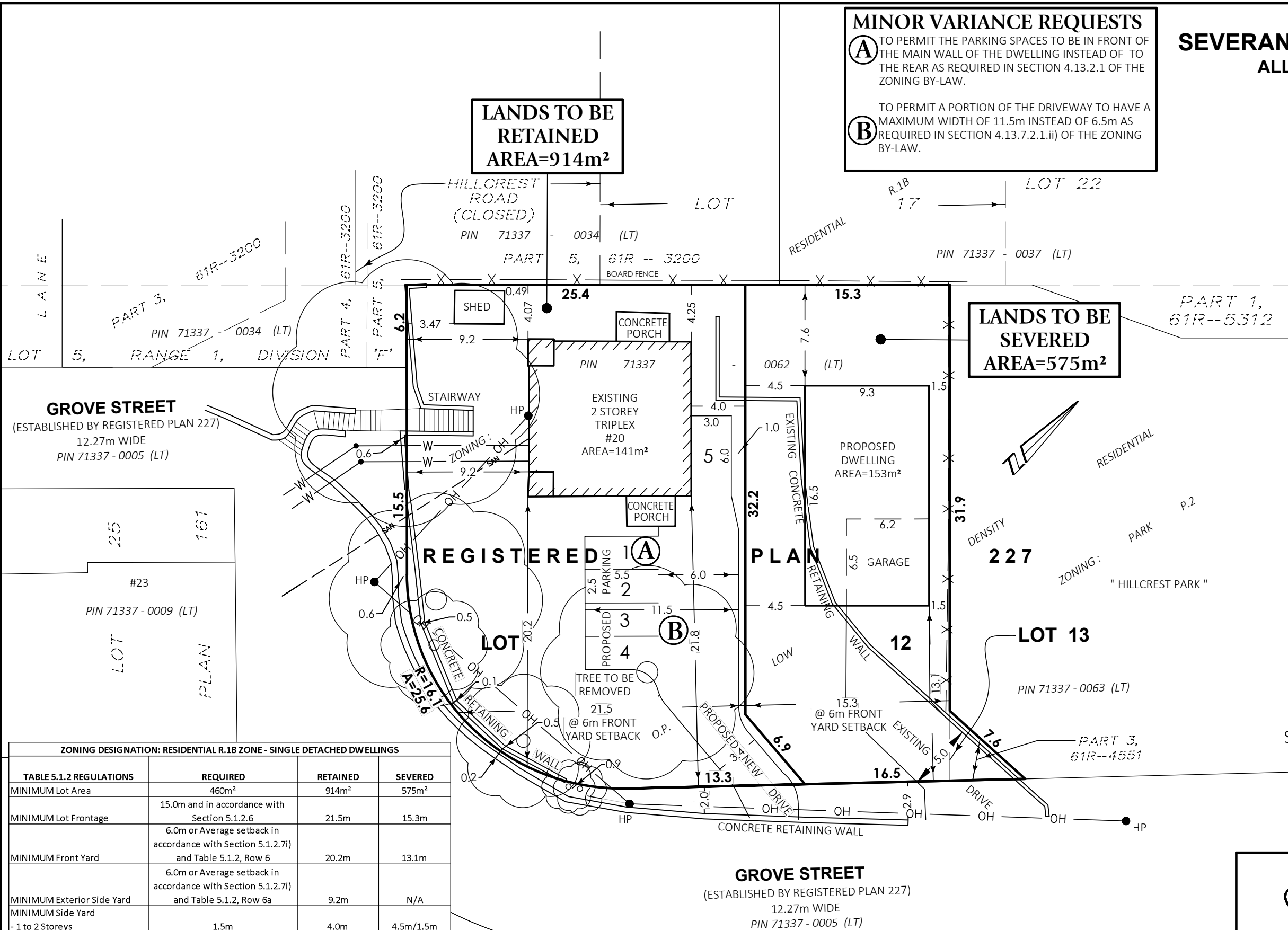
1. **THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.**
2. SUBJECT LANDS ARE ZONED RESIDENTIAL R.1B.
3. SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF LOW DENSITY RESIDENTIAL.
4. DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
5. DIMENSIONS ON THIS SKETCH ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED BY SURVEY.

THIS SKETCH WAS PREPARED ON THE
 _____ 7th DAY OF JANUARY, 2021

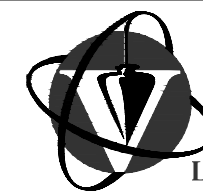

JEFFREY E. BUISMAN
ONTARIO LAND SURVEYOR

ZONING DESIGNATION: RESIDENTIAL R.1B ZONE - SINGLE DETACHED DWELLINGS			
TABLE 5.1.2 REGULATIONS	REQUIRED	RETAINED	SEVERED
MINIMUM Lot Area	460m ²	914m ²	575m ²
MINIMUM Lot Frontage	15.0m and in accordance with Section 5.1.2.6	21.5m	15.3m
MINIMUM Front Yard	6.0m or Average setback in accordance with Section 5.1.2.7i) and Table 5.1.2, Row 6	20.2m	13.1m
MINIMUM Exterior Side Yard	6.0m or Average setback in accordance with Section 5.1.2.7i) and Table 5.1.2, Row 6a	9.2m	N/A
MINIMUM Side Yard - 1 to 2 Storeys	1.5m	4.0m	4.5m/1.5m
MINIMUM Rear Yard	7.5m or 20% of the Lot Depth, whichever is less	4.07m*	7.6m
Parking Space - Section 4.13.2.1	A minimum of 6.0m from the Street Line and to the rear of the front wall of the main Building	In front of main wall of Building (A)	N/A
Driveway Width - Section 4.13.7.2.1.ii)	The Driveway shall have a maximum width of 6.5m	11.5m (B)	N/A

(A) & (B) = Minor Variance Required
 (*) = Existing (Legal Non-Conforming)



#25	#31	#35	#41
PIN 71337-0009 (LT)	PIN 71337-0076 (LT)	PIN 71337-0077 (LT)	PIN 71337-0078 (LT)
ZONING :	RESIDENTIAL	R.1B	
LOW	LOT	2	LOT 3
	DENSITY	RESIDENTIAL	
R F G I S T E R E D		P L A N	2 2 7



Van Harten

SURVEYING INC.
LAND SURVEYORS and ENGINEERS

Waterloo Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
www.vanharten.com		info@vanharten.com
DRAWN BY: ARN	CHECKED BY: JEB	PROJECT No. 28138-20
Jan 12, 2021-9:46:18 AM G:\GUELPH\227\ACAD\SEV LOT 12.13 (SUTCLIFFE) UTM.dwg		