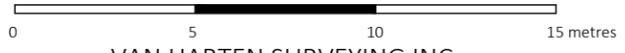
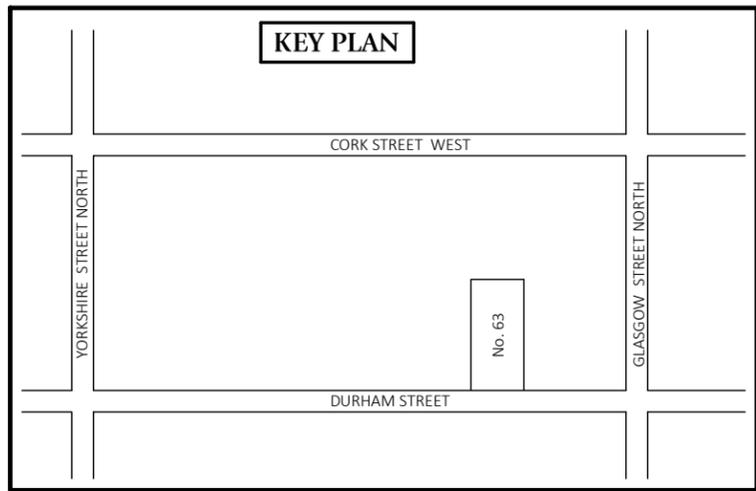


MINOR VARIANCE & SEVERANCE SKETCH
LOT 6, REGISTERED PLAN 296
CITY OF GUELPH
COUNTY OF WELLINGTON

SCALE 1 : 200

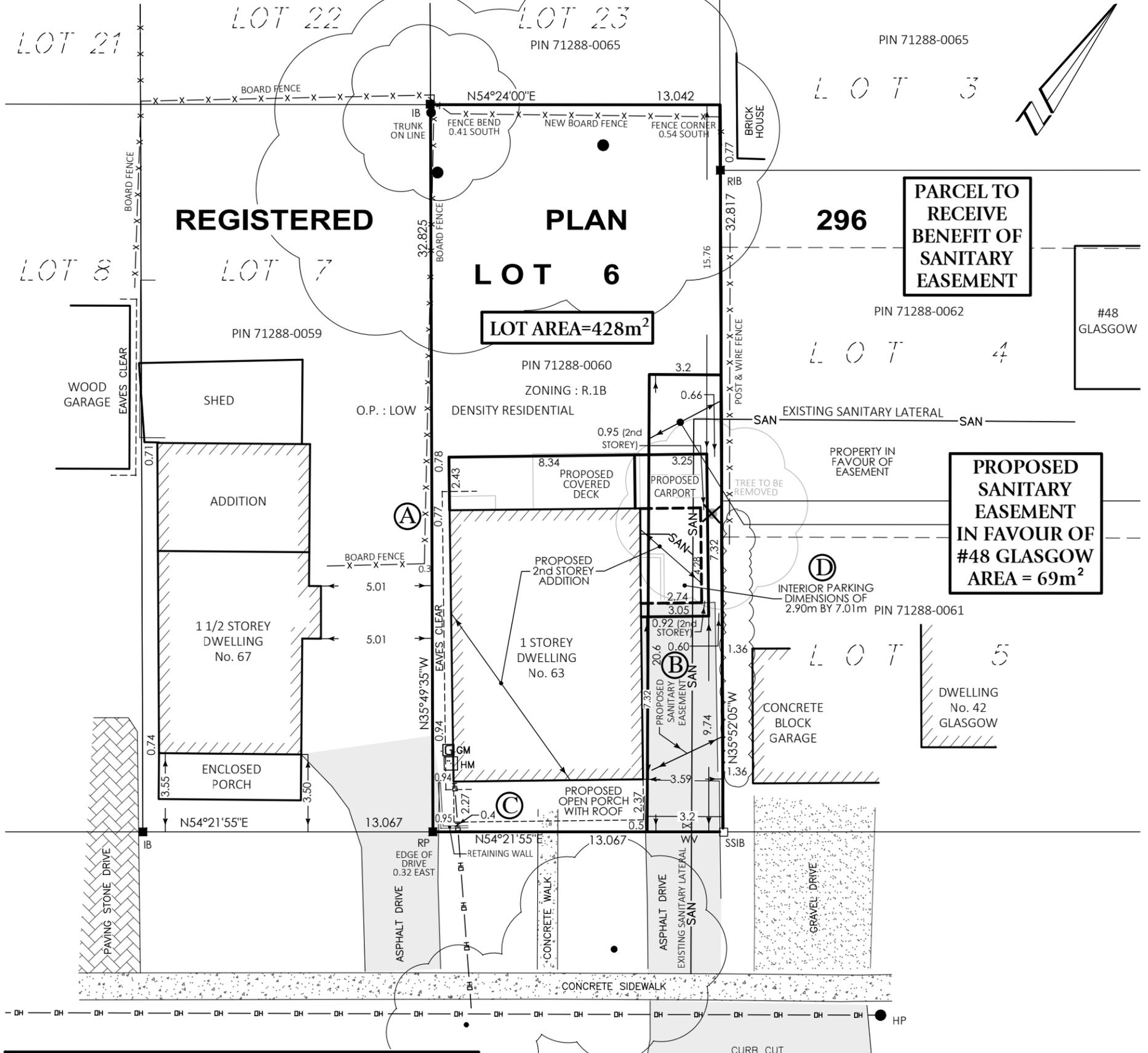


VAN HARTEN SURVEYING INC.



| ZONING DESIGNATION: RESIDENTIAL R.1B ZONE SINGLE DETACHED DWELLINGS | | |
|--|--|-----------------------|
| TABLE 5.1.2 REGULATIONS | REQUIRED | PROPOSED |
| MINIMUM Lot Area | 460m ² | 428m ² (L) |
| MINIMUM Lot Frontage | 15.0m and in accordance with Section 5.1.2.6 | 13.0m (L) |
| MINIMUM Front Yard | 6.0m or Average setback (1.095m) in accordance with Section 5.1.2.7i) and Table 5.1.2, Row 6 | 2.27m |
| MINIMUM Side Yard - 1 to 2 Storeys | 1.5m | 0.77m (A) & 0.60m (B) |
| MINIMUM Rear Yard | 7.5m or 20% of the Lot Depth, whichever is less. | 15.76m |
| MINIMUM Front Yard Setback to Open, Roofed Porch (Table 4.7, Row 3) | 2.0m | 0.40m (C) |
| MINIMUM Interior Parking Space Dimension (Section 4.13.3.2.2) | 3.0m BY 6.0m | 2.90m BY 7.01m (D) |

Minor Variance Required for (A) (B) (C) (D) (E)
(L) = Legal Non-Conforming



PARCEL TO RECEIVE BENEFIT OF SANITARY EASEMENT

PROPOSED SANITARY EASEMENT IN FAVOUR OF #48 GLASGOW AREA = 69m²

- MINOR VARIANCE REQUESTS:**
- (A) TO PERMIT A PROPOSED LEFT SIDE YARD SETBACK TO THE ADDITION TO BE 0.77m INSTEAD OF 1.5m AS REQUIRED IN SECTION 5.1.2, ROW 7 OF THE ZONING BY-LAW.
 - (B) TO PERMIT A PROPOSED RIGHT SIDE YARD SETBACK TO THE ADDITION TO BE 0.60m INSTEAD OF 1.5m AS REQUIRED IN SECTION 5.1.2, ROW 7 OF THE ZONING BY-LAW.
 - (C) TO PERMIT A PROPOSED FRONT YARD SETBACK TO AN OPEN, ROOFED PORCH TO BE 0.4m INSTEAD OF 2.0m AS REQUIRED IN TABLE 4.7, ROW 3 OF THE ZONING BY-LAW.
 - (D) TO PERMIT THE PROPOSED INTERIOR PARKING SPACE WIDTH TO BE 2.9m INSTEAD OF 3.0m AS REQUIRED IN SECTION 4.13.3.2.2 OF THE ZONING BY-LAW.

DURHAM STREET

NOTE: INFORMATION SHOWN ON THIS SKETCH WAS COMPILED FROM A SURVEY COMPLETED BY VAN HARTEN SURVEYING DATED OCTOBER 16, 1975 (MJ75-633) AND FIELD WORK COMPLETED ON THE 5th DAY OF OCTOBER, 2020.

DATE: DECEMBER 17, 2020
& UPDATED ON FEBRUARY 9, 2021

Jeff Buisman
JEFFREY E. BUISMAN
ONTARIO LAND SURVEYOR

Van Harten
SURVEYING INC.
LAND SURVEYORS and ENGINEERS

| | | |
|--|----------------------------|---------------------------------|
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| DRAWN BY: J.M.L. | CHECKED BY: J.L. | PROJECT No. 28880-20 |

Feb 09, 2021-9:35am
G:\GUELPH\296\Acad\MV SEV LOT 6 (MEZCON) UTM.dwg © 2021 VAN HARTEN SURVEYING INC.