



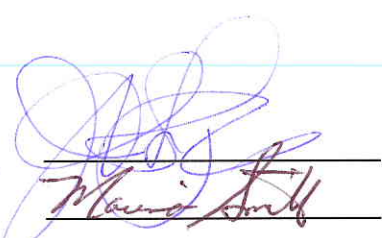
**COMMITTEE OF ADJUSTMENT
APPLICATION NUMBER A-108/03**

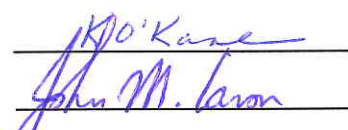
Decision

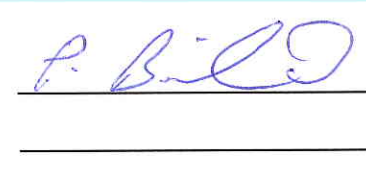
The Committee having considered whether or not the variance(s) are minor and desirable for the appropriate development and use of the land and that the general intent and purpose of the Zoning By-law and the Official Plan will be maintained, and that this application has met the requirements of Section 45 of the Planning Act R.S. O. 1990, Chapter P.13, as amended, passed the following resolutions:

THAT in the matter of an application under Section 45(1) of the Planning Act, R.S.O. 1990, c.P13, as amended, a variance from the requirements of table 6.2.2 – Row 5 of Zoning By-law (1995)-14864, as amended, for Part Lots 8 and 9m Concession 3, Division G being Parts 1, 2 and 3 on Reference Plan 61R-6402, municipally known as 492-502 Edinburgh Road South, to permit the existing building to be situate 2 metres (6.56 feet) from the Stone Road property line, be approved.

**Members of Committee
Concurring in this**


Maurice Smith


John M. Laron

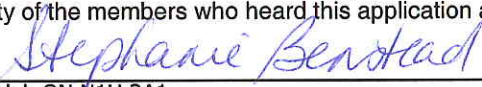

P. B. L. O.

The last day on which a Notice of Appeal to the Ontario Municipal Board may be filed is **November 24, 2003.**

I, Stephanie Benstead, Assistant Secretary-Treasurer, hereby certify this to be a true copy of the decision of the Guelph Committee of Adjustment and this decision was concurred by a majority of the members who heard this application at a meeting held on **November 4, 2003.**

Dated: November 7, 2003

Signed:


Stephanie Benstead

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Building Office: 2 Wyndham St. N, 2nd Floor, Guelph ON, Tel: (519) 837-5615, Fax: (519) 822-4632, Email: cofa@city.guelph.on.ca