

1 PARTIAL SITE PLAN

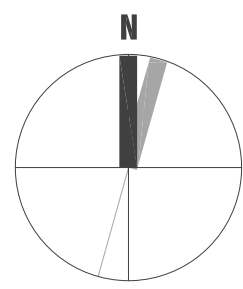
SP-2 SCALE: 1:200

Specialized B.2-6 Zone and B.5 Zone Corporate Business Park B.5 and Industrial Zone			
B.5 Permitted Use: Office "Office" means a Place in which a business is conducted or a profession is practised including associated clerical, administrative, consulting, advisory or training services and includes a Social Service Establishment, but does not include a Medical Clinic, Medical Office or Veterinary Service;		Proposed Use: Office	
7.4 Zoning Regulation	Required	Provided	Compliance
2 Minimum Lot Frontage	30 m	264.61 m	Compliant
3 Minimum Front and Exterior Side Yard	6 m	22.98 m	Compliant
4 Minimum Setback from the Hanlon Expressway 14 m (Section 7.4.4.1)	14 m from Hanlon	20.17 m	Compliant
5 Minimum Rear Yard	6 m	20.17 m	Compliant
6 Accessory Uses (catereria, gymnasium etc.)	Maximum 25% of GFA	7.50%	Compliant
Off-Street Parking (Sections 4.13)	Minimum 1 per 33 m ² GFA Phase 1 619 spaces Phase 2 169 spaces	Phase 1 850 spaces Phase 2 125 spaces	Compliant
4.13.2.4 parking shall be shown on a site plan, parking may be developed in stages in accordance with the approved site plan.	Show the phasing of building and parking on the Site Plan		Compliant
4.13.2.4.2 the Parking Area shall be screened from view of a street with landscaping, trees, shrubbery or berms.			Compliant
Parking Area and Driveway shall be constructed with gravel or other stable surface and treated so as to prevent the raising of dust or loose particles and drained so as to prevent the flow of surface water onto adjacent lands. (section 4.13.3.3.1)			Compliant
Minimum exterior parking space dimensions is 2.75 metres by 5.5 metres. (section 4.13.3.2.3)		Required parking is typical dimension of 2.75 x 5.5 m	Compliant
In addition to section 4.13.3.3 all parking and driveway areas shall have an impervious or paved surface.			Compliant
In spite of section 4.13.2.4.1, no Parking Area shall be located within 6 m of a street line.	Minimum 6 m parking setback from a street.	6.46 m along Quarterman	Compliant
Off-Street Loading (Sections 4.14 and 7.4.4.3)			Compliant
4.14 An Industrial Mall, Commercial Mall, or Warehouse, shall have adequate Loading Spaces provided	A loading space is not required for a freestanding Office use. (ie. not in a Mall)		Compliant
7.4.4.3. Off-Street Loading Space Requirements - B.5 Zones No Loading Spaces shall be located in the Front Yard or Exterior Side Yard or any Yard between a Lot Line abutting Hanlon Road or Hanlon Parkway and the nearest wall of the Main Building on the same Lot. A landscaped strip consisting of trees, shrubbery and/or berms shall screen the Loading Space so that it is not visible from any public Street. In addition to Section 4.14, within Corporate Business Park Zone (B.5) Zones adequate space shall be provided on-site for the temporary parking of vehicles awaiting access to Loading Spaces, exclusive of areas Used for parking or storage, and Loading Space access areas shall be designed to avoid interference with the normal Use of the Street and with internal on-site Vehicle circulation.	Loading space is proposed within an exterior side yard.		Exclusion, previously addressed through Pre-Consult Process
Minimum Landscaped Open Space	15%	39.5%	Compliant
Minimum 6 m front and exterior side yard shall be landscaped except a driveway.	6.0 m	8.4 m	Compliant
Minimum 9 m wide landscaped area shall be provided along the Hanlon Expressway.	9.0 m	20.17 m	Compliant
Maximum Building Height	20 m	18.0 m	Compliant
Fences 4.20.6 3m maximum height. 4.20.7 In a Front Yard maximum 3m height and shall be open chain link.		N/A	N/A
Garbage, Refuse Storage and Composters 4.9.1 within the principal or accessory Building or Structure within Side Yard or Rear Yard. 4.9.2 garbage area, loading or unloading area, shall have a visual screening consisting of fencing. 4.9.3 A dumpster or garbage container shall be regulated as an accessory Building.			Compliant
Minimum Building Size Requirements (section 7.4.4.4) For properties within the B.5 Zone, the following minimum Building sizes shall be required: -10 per cent of the Lot Area for Lots 3 acres or less in size, but in no case less than 464.5 m ² -15 per cent of the Lot Area for Lots between 3-10 acres in size -20 per cent of the Lot Area for Lots over 10 acres.		What is the area of the property located within the B.5 Zone?	Compliant
Specialized Industrial B.2-6 Zone			
B.2-6 Permitted Use: Office and other Accessory Uses are permitted provided that such use is subordinate, incidental and exclusively devoted to a permitted use.		Proposed Use: Parking as a use which is accessory to an Office use which is permitted in the B.5 Zone but not the B.2-6 Zone.	
7.4 Zoning Regulation	Required	Provided	Compliance
Minimum Lot Frontage	30 m	264.61 m	Compliant
Off-Street Parking (sections 4.13)	Office 1 per 33 m ² GFA		Compliant
4.13.2.4 parking shall be shown on a site plan, parking may be developed in stages in accordance with the approved site plan.			Compliant
4.13.2.4.2 the Parking Area shall be screened from view of a street with landscaping, trees, shrubbery or berms.			Compliant
Parking Area and Driveway shall be constructed with gravel or other stable surface and treated so as to prevent the raising of dust or loose particles and drained so as to prevent the flow of surface water onto adjacent lands. (section 4.13.3.3.1)			Compliant
The minimum exterior parking space dimensions is 2.75 metres by 5.5 metres. (section 4.13.3.2.3)		Required parking is typical dimension of 2.75 x 5.5 m	Compliant
In addition to section 4.13.3.3 all parking and driveway areas shall have an impervious or paved surface.			Compliant
In spite of section 4.13.2.4.1, no Parking Area shall be located within 6 m of a street line.		6.46 m along Quarterman	Compliant
7.3.2.6.4.3 Minimum Landscaped Open Space	10% and a minimum landscaped area 4.5 m in width shall be provided and maintained along the municipal street line (with the exception of driveways)	39.5 % (30850 m ²)	Compliant
Fences 4.20.6 3m maximum height. 4.20.7 In a Front Yard maximum 3m height and shall be open chain link.		N/A	N/A
Minimum Building Size Requirements (section 7.3.5) 7.3.5.1 For properties within the B.2 Zone, the following minimum Building sizes shall be required: - 10% of the Lot Area for Lots 3 acres or less in size, but in no case less than 464.5 m ² . - 15% of the Lot Area for Lots between 3-10 acres. - 20% of the Lot Area for Lots over 10 acres.	0% 0 m ² What is the area of the property within the B2-6 Zone? No building proposed within this zone.		N/A



Site Plan Keynotes

- 101 HEAVY DUTY ASPHALT PAVING AT FIRE ROUTE (SHOWN SHADED) & SERVICE AREA. REFER TO GEOTECHNICAL INVESTIGATION
- 102 MEDIUM DUTY ASPHALT PAVING. REFER TO GEOTECHNICAL INVESTIGATION
- 103 PEDESTRIAN CROSSWALK. REFER TO LANDSCAPE DRAWINGS FOR MATERIAL
- 104 POURED CONCRETE CURB
- 105 DEPRESS CONCRETE CURB AS REQUIRED FOR ACCESSIBILITY
- 106 HARD SURFACE WALK. REFER TO LANDSCAPE DRAWINGS
- 107 TACTILE INDICATOR (TUS) TO BE PROVIDED AT ALL PEDESTRIAN CROSSINGS
- 108 PAINTED PAVEMENT MARKINGS
- 109 LOADING AREA SCREEN, 2.4m HIGH SOLID WALL
- 110 RESERVED
- 111 RESERVED
- 112 4m x 5m SIGHT LINE TRIANGLE
- 113 INVERTED U-SHAPE BICYCLE RACKS ON CONCRETE PAD. REFER TO LANDSCAPE PLAN
- 114 STONE DUST ACTIVITY TRAIL
- 115 LINE OF CANOPY ROOF ABOVE
- 116 LOW STONE FEATURE WALL
- 117 IN-GROUND GARBAGE & RECYCLING STORAGE
- 118 LAMP STANDARD & CONCRETE BASE. REFER TO ELECTRICAL FOR DETAILS & PHASING
- 119 PEDESTRIAN LIGHTING. REFER TO ELECTRICAL
- 120 GROUND SIGN. REFER TO DETAILS
- 121 WAY-FINDING SIGNAGE
- 122 LANDSCAPED AREA
- 123 SODDED/BEEDED AREA
- 131 REFER TO CIVIL DRAWINGS FOR STRUCTURES



Site Plan Resubmission

19	FEB 10/21	SITE PLAN APPLICATION RE-SUBMISSION
18	OCT 1/20	REVERSED PATHWAY AT AUTO SETBACK
17	APR 6/20	SITE PLAN APPLICATION RE-SUBMISSION
16	FEB 12/20	SITE PLAN APPLICATION RE-SUBMISSION
15	OCT 31/19	SITE PLAN APPLICATION
14	OCT 9/19	TEAM MEETING PRE-SPA APPLICATION
13	SEP 25/19	TEAM MEETING PRE-SPA APPLICATION
12	FEB 19/19	SUSTAINABILITY & CITIZENSHIP MEETING
11	JAN 30/18	CONSULTANT MEETING
No.	DATE	ISSUE



1-248 King St. E. Kitchener ON, N2C 2A8 | 519-504-1636
neoarchitecture.ca



NEW CORPORATE HEAD OFFICE

SITE PLAN FILE NUMBER: PRE 18-0115
10952895 Canada Inc.
101 Cooper Drive, Guelph

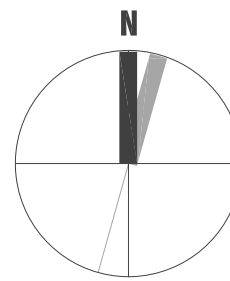
SITE PLAN DETAIL

PROJECT NUMBER
17-058
PROJECT DATE
August 2018
DRAWN BY
dmcdonogh

SP-2

Site Plan Keynotes

- 1201 HEAVY DUTY ASPHALT PAVING AT FIRE ROUTE (SHOWN SHADED) & SERVICE AREA. REFER TO GEOTECHNICAL INVESTIGATION
1202 MEDIUM DUTY ASPHALT PAVING. REFER TO GEOTECHNICAL INVESTIGATION
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1221 WAY-FINDING SIGNAGE
1222 LANDSCAPED AREA
1223 SODDED/SEEDED AREA
131 REFER TO CIVIL DRAWINGS FOR STRUCTURES



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No.	DATE	ISSUE

NEO
ARCHITECTURE INC

1-243 King St. E., Kitchener, ON, N2C 2G8 | 519-504-6368
neoarchitecture.ca



NEW CORPORATE HEAD OFFICE

SITE PLAN FILE NUMBER: PRE-18-0115
10952895 Canada Inc.
101 Cooper Drive, Guelph

DRAWING

PHASE 2 PARKING, SITE PLAN
Additional 125 Spaces

PROJECT NUMBER

17-058

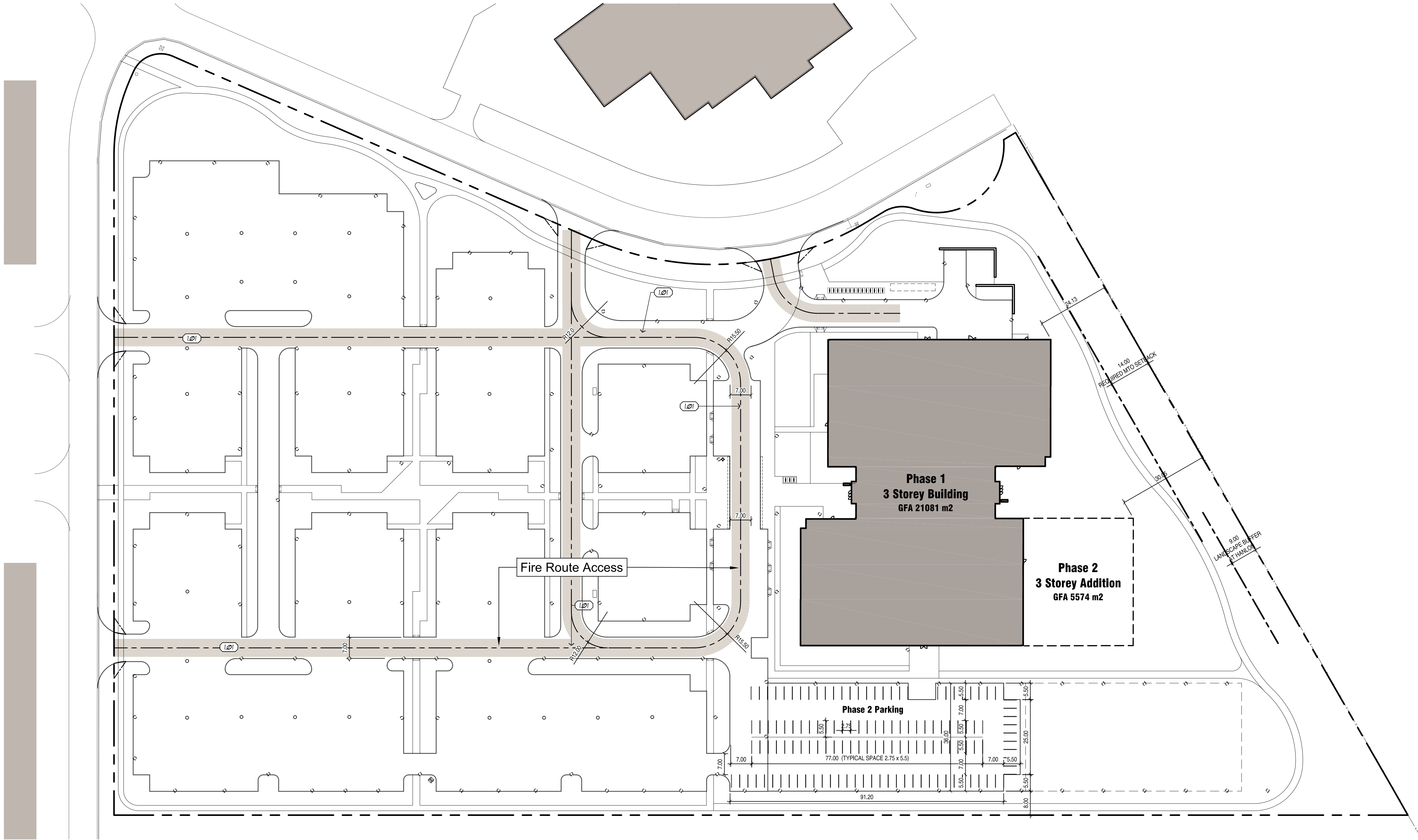
PROJECT DATE

August 2018

DRAWN BY

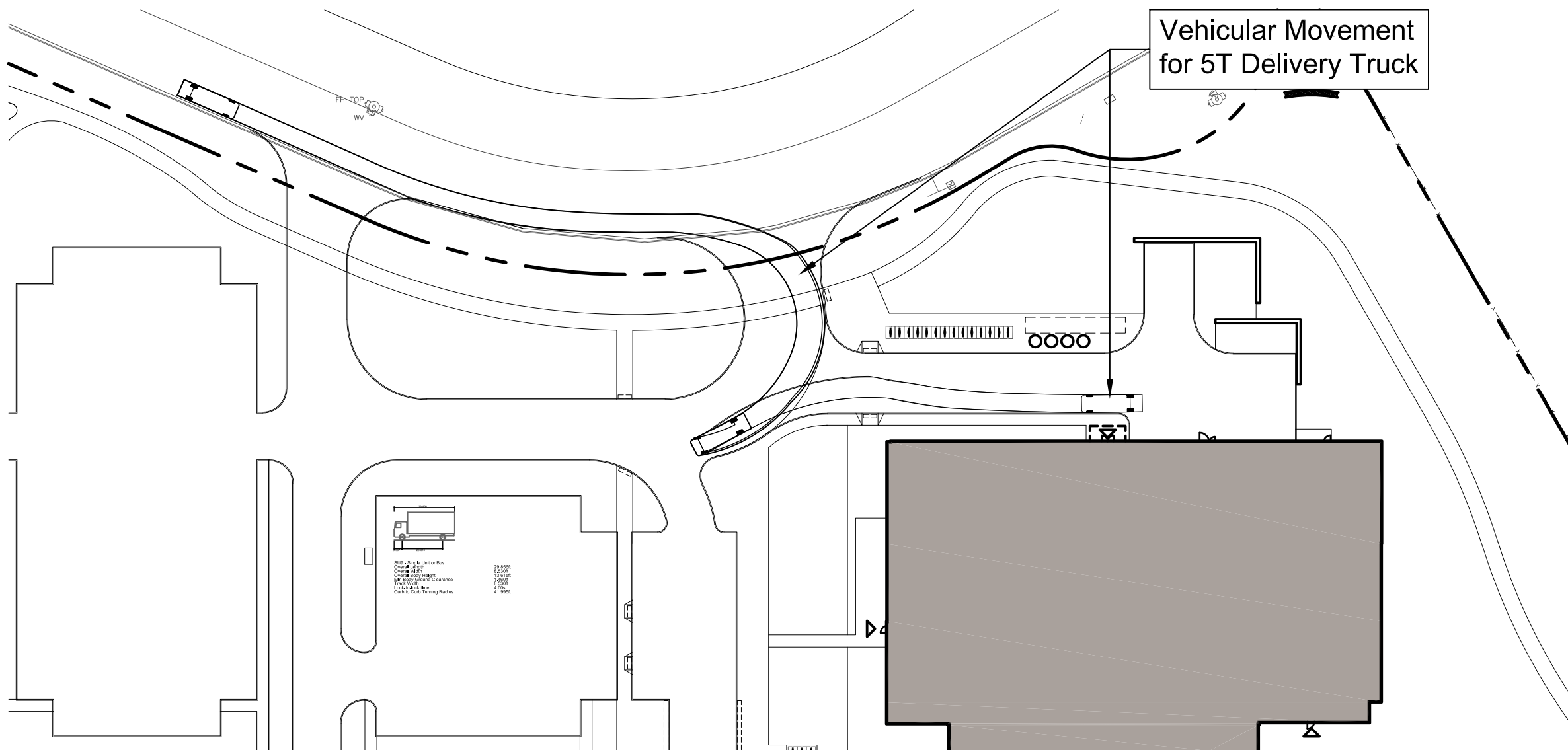
dmcintosh

SP-3



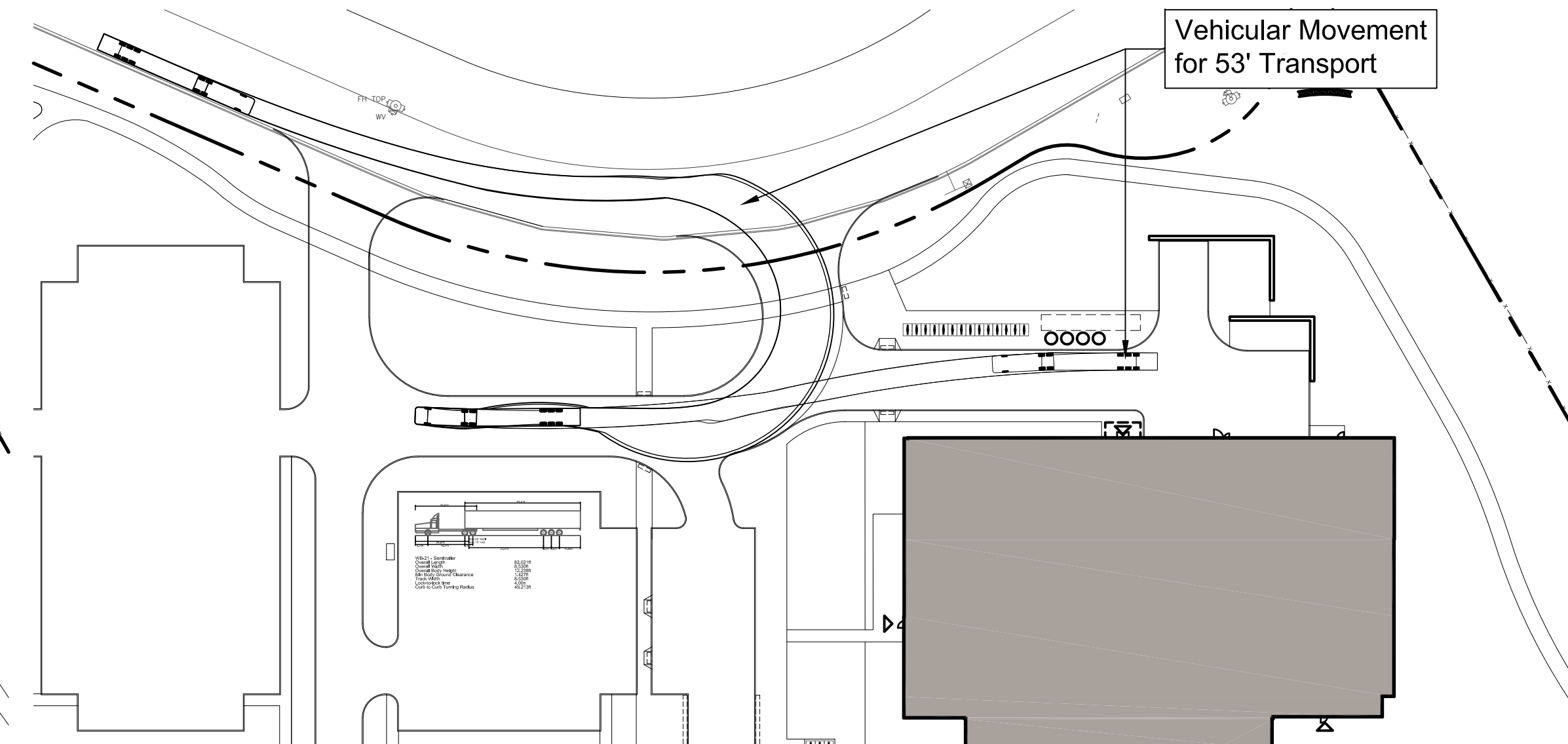
1 PARTIAL SITE PLAN - Phase 2

SP-3 SCALE: 1:750



3 VEHICLE TRACKING - 5 Ton Truck

SP-3 SCALE: 1:750



2 VEHICLE TRACKING - Tractor Trailer

SP-3 SCALE: 1:750