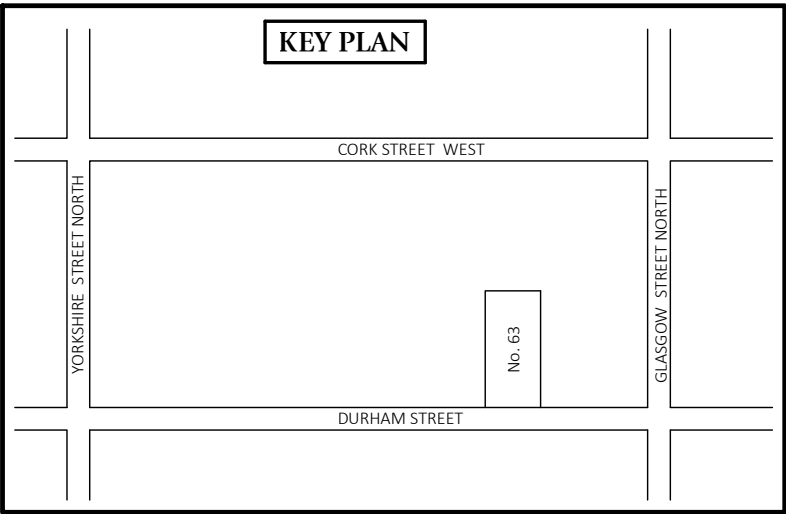
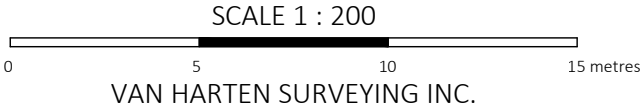
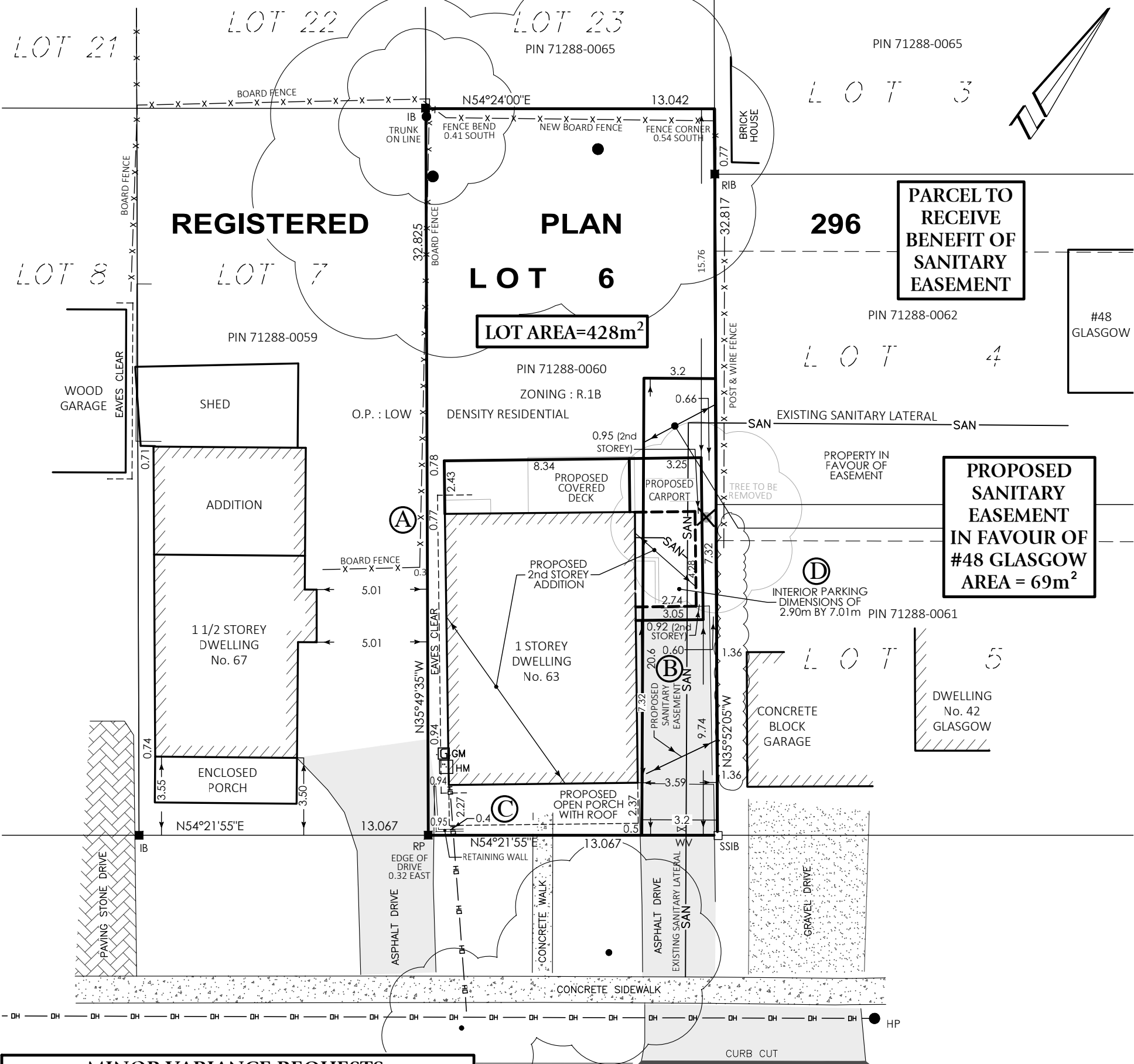


MINOR VARIANCE & SEVERANCE SKETCH
LOT 6, REGISTERED PLAN 296
CITY OF GUELPH
COUNTY OF WELLINGTON



ZONING DESIGNATION: RESIDENTIAL R.1B ZONE SINGLE DETACHED DWELLINGS		
TABLE 5.1.2 REGULATIONS	REQUIRED	PROPOSED
MINIMUM Lot Area	460m ²	428m ² (L)
MINIMUM Lot Frontage	15.0m and in accordance with Section 5.1.2.6	13.0m (L)
MINIMUM Front Yard	6.0m or Average setback (1.095m) in accordance with Section 5.1.2.7(i) and Table 5.1.2, Row 6	2.27m
MINIMUM Side Yard - 1 to 2 Storeys	1.5m	0.77m (A) & 0.60m (B)
MINIMUM Rear Yard	7.5m or 20% of the Lot Depth, whichever is less.	15.76m
MINIMUM Front Yard Setback to Open, Roofed Porch (Table 4.7, Row 3)	2.0m	0.40m (C)
MINIMUM Interior Parking Space Dimension (Section 4.13.3.2.2)	3.0m BY 6.0m	2.90m BY 7.01m (D)

Minor Variance Required for (A) (B) (C) (D) (E)
(L) = Legal Non-Conforming



MINOR VARIANCE REQUESTS:


- (A) TO PERMIT A PROPOSED LEFT SIDE YARD SETBACK TO THE ADDITION TO BE 0.77m INSTEAD OF 1.5m AS REQUIRED IN SECTION 5.1.2, ROW 7 OF THE ZONING BY-LAW.
- (B) TO PERMIT A PROPOSED RIGHT SIDE YARD SETBACK TO THE ADDITION TO BE 0.60m INSTEAD OF 1.5m AS REQUIRED IN SECTION 5.1.2, ROW 7 OF THE ZONING BY-LAW.
- (C) TO PERMIT A PROPOSED FRONT YARD SETBACK TO AN OPEN, ROOFED PORCH TO BE 0.4m INSTEAD OF 2.0m AS REQUIRED IN TABLE 4.7, ROW 3 OF THE ZONING BY-LAW.
- (D) TO PERMIT THE PROPOSED INTERIOR PARKING SPACE WIDTH TO BE 2.9m INSTEAD OF 3.0m AS REQUIRED IN SECTION 4.13.3.2.2 OF THE ZONING BY-LAW.

NOTE: INFORMATION SHOWN ON THIS SKETCH WAS COMPILED FROM A SURVEY COMPLETED BY VAN HARTEN SURVEYING DATED OCTOBER 16, 1975 (MJ75-633) AND FIELD WORK COMPLETED ON THE 5th DAY OF OCTOBER, 2020.

DATE: DECEMBER 17, 2020
& UPDATED ON FEBRUARY 9, 2021

Jeff Buisman
JEFFREY E. BUISMAN
ONTARIO LAND SURVEYOR

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Feb 09, 2021-9:35am G:\GUELPH\296\Acad\MV SEV LOT 6 (MEZCON) UTM.dwg © 2021 VAN HARTEN SURVEYING INC.		