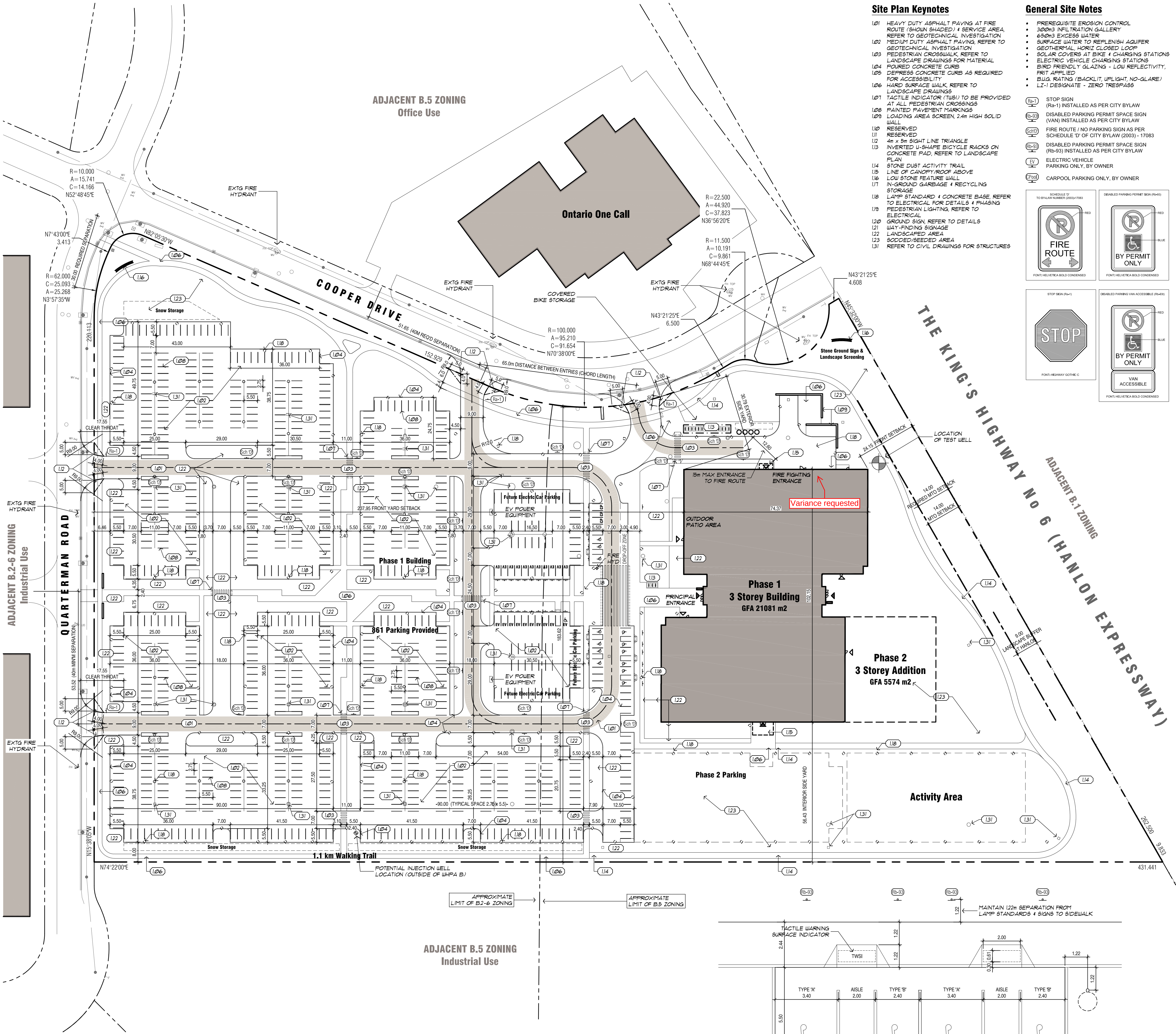




1 OVERALL SITE PLAN
SP-1 SCALE: 1:750

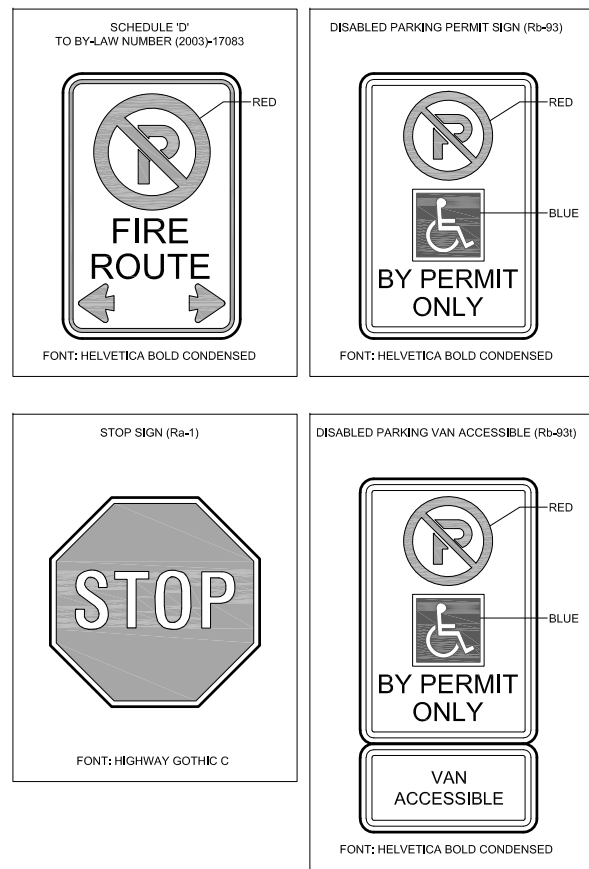
2 TYPICAL DETAILS
SP-1 SCALE: 1:100

Site Plan Keynotes

- 101 HEAVY DUTY ASPHALT PAVING AT FIRE ROUTE (SHOWN SHADED) & SERVICE AREA. REFER TO GEOTECHNICAL INVESTIGATION.
- 102 MEDIUM DUTY ASPHALT PAVING. REFER TO GEOTECHNICAL INVESTIGATION.
- 103 PEDESTRIAN CROSSWALK. REFER TO LANDSCAPE DRAWINGS FOR MATERIAL.
- 104 FOUNDED CONCRETE CURB.
- 105 DEPRESS CONCRETE CURB AS REQUIRED FOR ACCESSIBILITY.
- 106 HARD SURFACE WALK. REFER TO LANDSCAPE DRAWINGS.
- 107 TACTILE INDICATOR (TWSI) TO BE PROVIDED AT ALL PEDESTRIAN CROSSINGS.
- 108 PAINTED PAVEMENT MARKINGS.
- 109 LOADING AREA SCREEN 2.4m HIGH SOLID WALL.
- 110 RESERVED.
- 111 RESERVED.
- 112 4m x 3m RIGHT LINE TRIANGLE.
- 113 INVERTED U-SHAPE BICYCLE RACKS ON CONCRETE PAD. REFER TO LANDSCAPE PLAN.
- 114 STONE DUST ACTIVITY TRAIL.
- 115 LINE OF CANOPY/ROOF ABOVE LOW STONE FEATURE WALL.
- 117 IN-GROUND GARBAGE & RECYCLING STORAGE.
- 118 LAMP STANDARD & CONCRETE BASE. REFER TO ELECTRICAL FOR DETAILS & PHASING.
- 121 WAY-FINDING SIGNAGE.
- 122 LANDSCAPED AREA.
- 123 SODDED/BEEDED AREA.
- 131 REFER TO CIVIL DRAWINGS FOR STRUCTURES.

General Site Notes

- PREREQUISITE EROSION CONTROL.
 - 300m3 INFILTRATION GALLERY.
 - 650m3 EXCESS WATER.
 - SURFACE WATER TO REPLENISH AQUIFER.
 - GEOTHERMAL HORIZ CLOSED LOOP.
 - SOLAR COVERS AT BIKE & CHARGING STATIONS.
 - ELECTRIC VEHICLE CHARGING STATIONS.
 - BIRD FRIENDLY GLASSING - LOW REFLECTIVITY.
 - FRIT APPLIED.
 - BUG RATING (BACKLIT, UPLIGHT, NO-GLARE).
 - LZ-1 DESIGNATE - ZERO TRESPASS.
- STOP SIGN (R-1) INSTALLED AS PER CITY BYLAW.
DISABLED PARKING PERMIT SPACE SIGN (VAN) INSTALLED AS PER CITY BYLAW.
FIRE ROUTE / NO PARKING SIGN AS PER SCHEDULE 'D' OF CITY BYLAW (2003) - 17083.
DISABLED PARKING PERMIT SPACE SIGN (R-93) INSTALLED AS PER CITY BYLAW.
ELECTRIC VEHICLE PARKING ONLY, BY OWNER.
CARPOOL PARKING ONLY, BY OWNER.



Legal Description
Parts 1, 2 & 3, Block 5, Plan 61M-176;
Part of PIN 71200-0273 (LT);
Subject to Easement over Parts 1 & 2 as in WC335497;
City of Guelph

Property information taken from Surveyor's Real Property Report Plan of Part of Block 5 Registered Plan 61M-176, City of Guelph, County of Wellington as prepared by Van Harten Surveying, January 7, 2019

Gross Floor Areas	
Ground Floor	76,810 sq ft 7,136 m²
Second Floor	71,510 sq ft 6,643 m²
Third Floor	71,395 sq ft 6,633 m²
Mechanical Penthouse	7,200 sq ft 669 m²

Total GFA 226,915 sq ft 21,081 m²

Usable Floor Area 211,000 sq ft 19,603 m²

Site Area 19.33 Ac

Landscape Area 32811m² 42 %

Site Plan Resubmission

No.	DATE	ISSUE
19	FEB 10/21	SITE PLAN APPLICATION RE-SUBMISSION
18	OCT 12/20	REMOVED PATHWAY AT MTO SETBACK
17	APR 6/20	SITE PLAN APPLICATION RE-SUBMISSION
16	FEB 12/20	SITE PLAN APPLICATION RE-SUBMISSION
15	OCT 31/19	SITE PLAN APPLICATION
14	OCT 9/19	TEAM MEETING PRE-SPA APPLICATION
13	SEP 25/19	TEAM MEETING PRE-SPA APPLICATION
12	FEB 4/19	SUSTAINABILITY & CITIZENSHIP MEETING
11	JAN 30/18	CONSULTANT MEETING

NEO
ARCHITECTURE INC

1-244 King St E, Kitchener ON, N2C 2A8 | 519-504-1638
neoframeworks.ca

ONTARIO ASSOCIATION
OF ARCHITECTS
LARA ANDREW ROBERTSON
LICENCE 4921

OWNER
the co-operators
A Better Place For You

NEW CORPORATE HEAD OFFICE

SITE PLAN FILE NUMBER: PRE 18-0115
10952893 Canada Inc.
101 Cooper Drive, Guelph

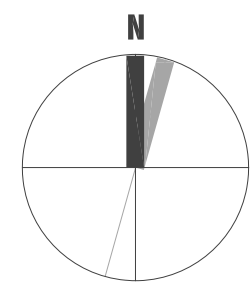
OVERALL SITE PLAN 850 Parking Spaces Provided

PROJECT NUMBER 17-058	SP-1
PROJECT DATE August 2018	
DRAWN BY dmrctosh	



COOPER

101 HEAVY DUTY ASPHALT PAVING AT FIRE
102 ROSTER (SHOWN SHADED) & SERVICE AREA,
103 REFER TO GEOTECHNICAL INVESTIGATION
104 FOR FURTHER ASSESSMENT REFER TO
105 GEOTECHNICAL INVESTIGATION
106 PEDESTRIAN CROSSWALK REFER TO
107 MATERIAL SPECIFICATIONS FOR
108 POURED CONCRETE CURB
109 DEPRESS CONCRETE CURBS AS REQUIRED
110
111 HARD SURFACE WALK REFER TO
112 LANDSCAPE DRAININGS
113 FOLEY CULVERT TO BE PROVIDED
114 AT ALL PEDESTRIAN CROSSINGS
115 PAINTED PAVEMENT MARKINGS
116 LOADING AREA SCREEN 2.4m HIGH SOLID
117 WALL
118 RESERVED
119 RESERVED
120 4m x 5m LIGHT LINE TRIANGLE
121 INVERTED U-SHAPE BICYCLE RACKS ON
122 CONCRETE PAD, REFER TO LANDSCAPE
123 PLAN
124 STONE DUTY ACTIVITY TRAIL
125 LINE OF GANTRY/ROOF ABOVE
126 LOW WALL FEATURE WALK
127 IN-GROUND GARBAGE & RECYCLING
128 STORAGE
129 LAY STANDARD 1 CONCRETE BASE REFER
130 TO LANDSCAPE FOR DETAILS & FINISHES
131 ELECTRICAL LIGHTING REFER TO
132 ELECTRICAL
133 GROUND PLAN REFER TO DETAILS
134 WY-FINDING SIGNAGE
135 LANDSCAPED AREA
136 SOLO-COLOURED AREA
137 REFER TO CIVIL DRAWINGS FOR STRUCTURES



19	FEB 10/21	SITE PLAN APPLICATION RE-SUBMISSION
18	OCT 1/20	REVISED PATHWAY AT MTO SETBACK
17	APR 6/20	SITE PLAN APPLICATION RE-SUBMISSION
16	FEB 12/20	SITE PLAN APPLICATION RE-SUBMISSION
15	OCT 31/19	SITE PLAN APPLICATION
14	OCT 9/19	TEAM MEETING PRE-SPA APPLICATION
13	SEP 25/19	TEAM MEETING PRE-SPA APPLICATION
12	FEB 4/19	SUSTAINABILITY & CITIZENSHIP MEETING
11	JAN 30/18	CONSULTANT MEETING
No.	DATE	ISSUE

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PROJEC

SITE PLAN FILE NUMBER: PRE 18-011S
10952893 Canada Inc.
101 Cooper Drive, Guelph

PROJECT NUMBER
17-058

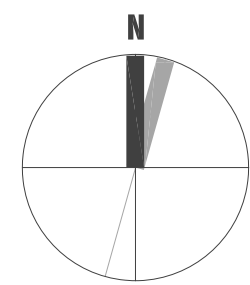
PROJECT DATE
August 2018

DRAWN BY
dmcintosh

SP-2

Site Plan Keynotes

- 1201 HEAVY DUTY ASPHALT PAVING AT FIRE ROUTE (SHOWN SHADED) & SERVICE AREA. REFER TO GEOTECHNICAL INVESTIGATION
- 1202 MEDIUM DUTY ASPHALT PAVING. REFER TO GEOTECHNICAL INVESTIGATION
- 1203 PEDESTRIAN CROSSWALK. REFER TO LANDSCAPE DRAWINGS FOR MATERIAL
- 1204 POURED CONCRETE CURB
- 1205 DEPRESS CONCRETE CURB AS REQUIRED FOR ACCESSIBILITY
- 1206 HARD SURFACE WALK. REFER TO LANDSCAPE DRAWINGS
- 1207 TACTILE INDICATOR (TUSI) TO BE PROVIDED AT ALL PEDESTRIAN CROSSINGS
- 1208 PAINTED PAVEMENT MARKINGS
- 1209 LOADING AREA SCREEN, 2.4m HIGH SOLID WALL
- 1210 RESERVED
- 1211 RESERVED
- 1212 4m x 5m SIGHT LINE TRIANGLE
- 1213 INVERTED U-SHAPE BICYCLE RACKS ON CONCRETE PAD. REFER TO LANDSCAPE PLAN
- 1214 STONE DUST ACTIVITY TRAIL
- 1215 LINE OF CANOPY ROOF ABOVE
- 1216 LOW STONE FEATURE WALL
- 1217 IN-GROUND GARBAGE & RECYCLING STORAGE
- 1218 LAMP STANDARD & CONCRETE BASE. REFER TO ELECTRICAL FOR DETAILS & PHASING
- 1219 PEDESTRIAN LIGHTING. REFER TO ELECTRICAL
- 1220 GROUND SIGN. REFER TO DETAILS
- 1221 WAY-FINDING SIGNAGE
- 1222 LANDSCAPED AREA
- 1223 SODDED/SEEDED AREA
- 131 REFER TO CIVIL DRAWINGS FOR STRUCTURES



Site Plan Resubmission

19	FEB 10/21	SITE PLAN APPLICATION RE-SUBMISSION
18	OCT 1/20	REVISED PATHWAY AT MTO SERVICE
17	APR 6/20	SITE PLAN APPLICATION RE-SUBMISSION
16	FEB 12/20	SITE PLAN APPLICATION RE-SUBMISSION
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12	FEB 4/19	SUSTAINABILITY & CITIZENSHIP MEETING
11	JAN 30/18	CONSULTANT MEETING
No.	DATE	ISSUE

NEO
ARCHITECTURE INC

1-248 King St. E., Kitchener, ON, N2C 2G8 | 519-504-6368
neoarchitecture.ca



NEW CORPORATE HEAD OFFICE

SITE PLAN FILE NUMBER: PRE-18-0115
10952895 Canada Inc.
101 Cooper Drive, Guelph

DRAWING

PHASE 2 PARKING, SITE PLAN
Additional 125 Spaces

PROJECT NUMBER

17-408

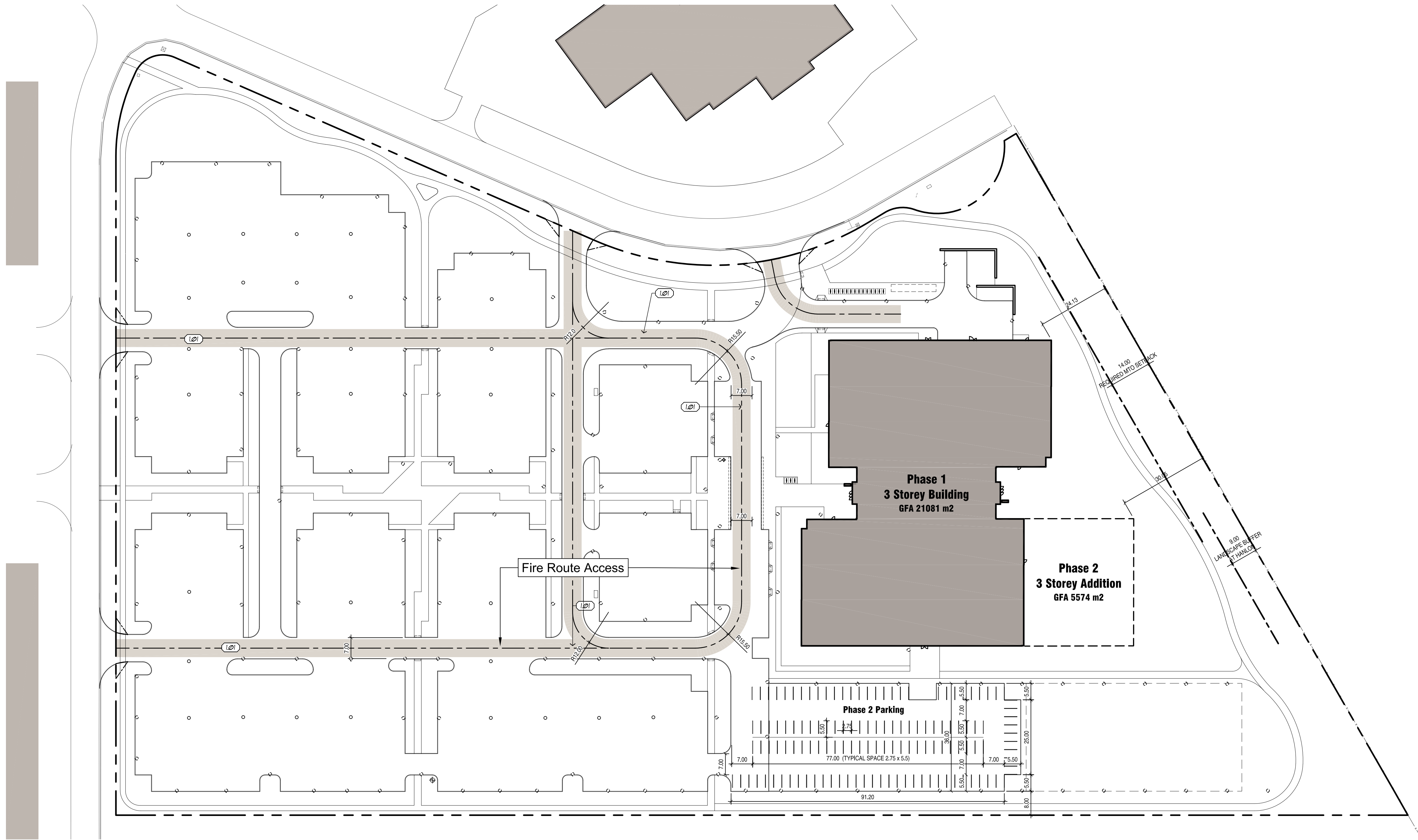
PROJECT DATE

August 2018

DRAWN BY

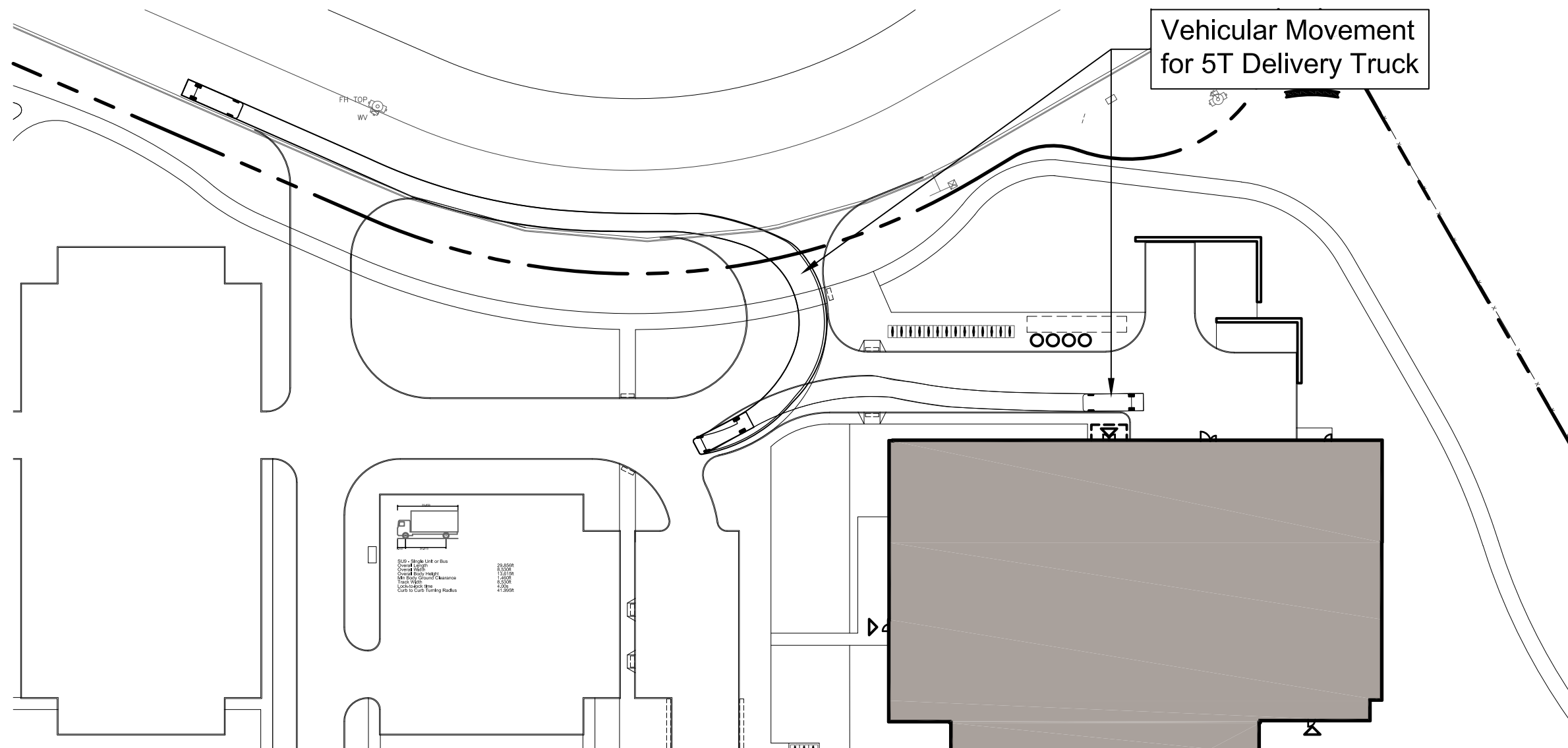
dmcintosh

SP-3



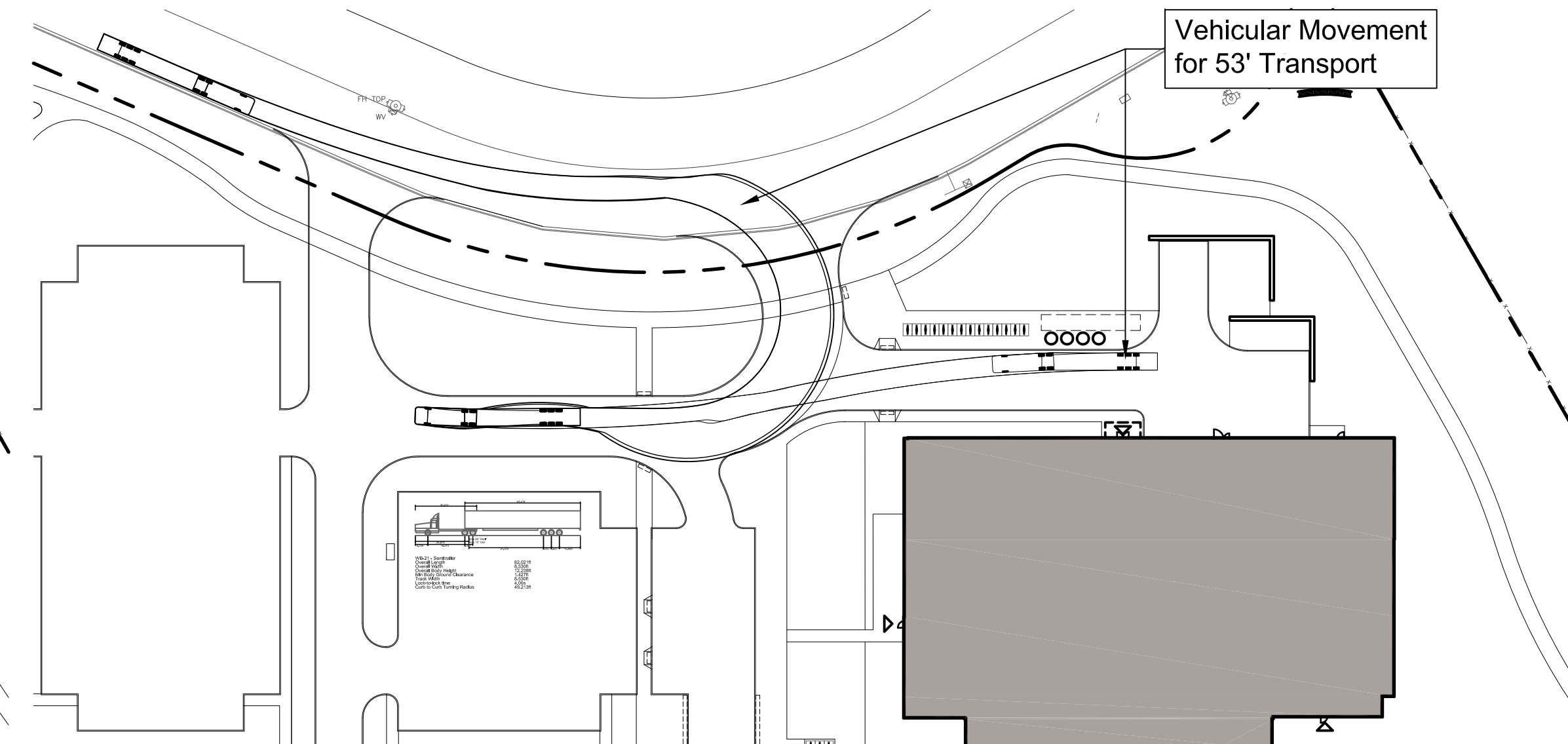
1 PARTIAL SITE PLAN - Phase 2

SP-3 SCALE: 1:750



3 VEHICLE TRACKING - 5 Ton Truck

SP-3 SCALE: 1:750



2 VEHICLE TRACKING - Tractor Trailer

SP-3 SCALE: 1:750