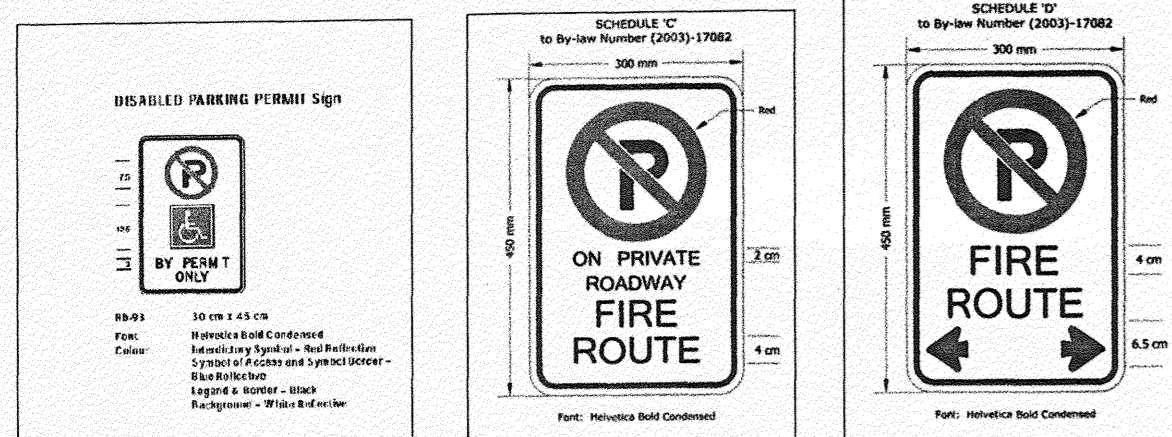


CITY OF GUELPH SIGN SPECIFICATIONS



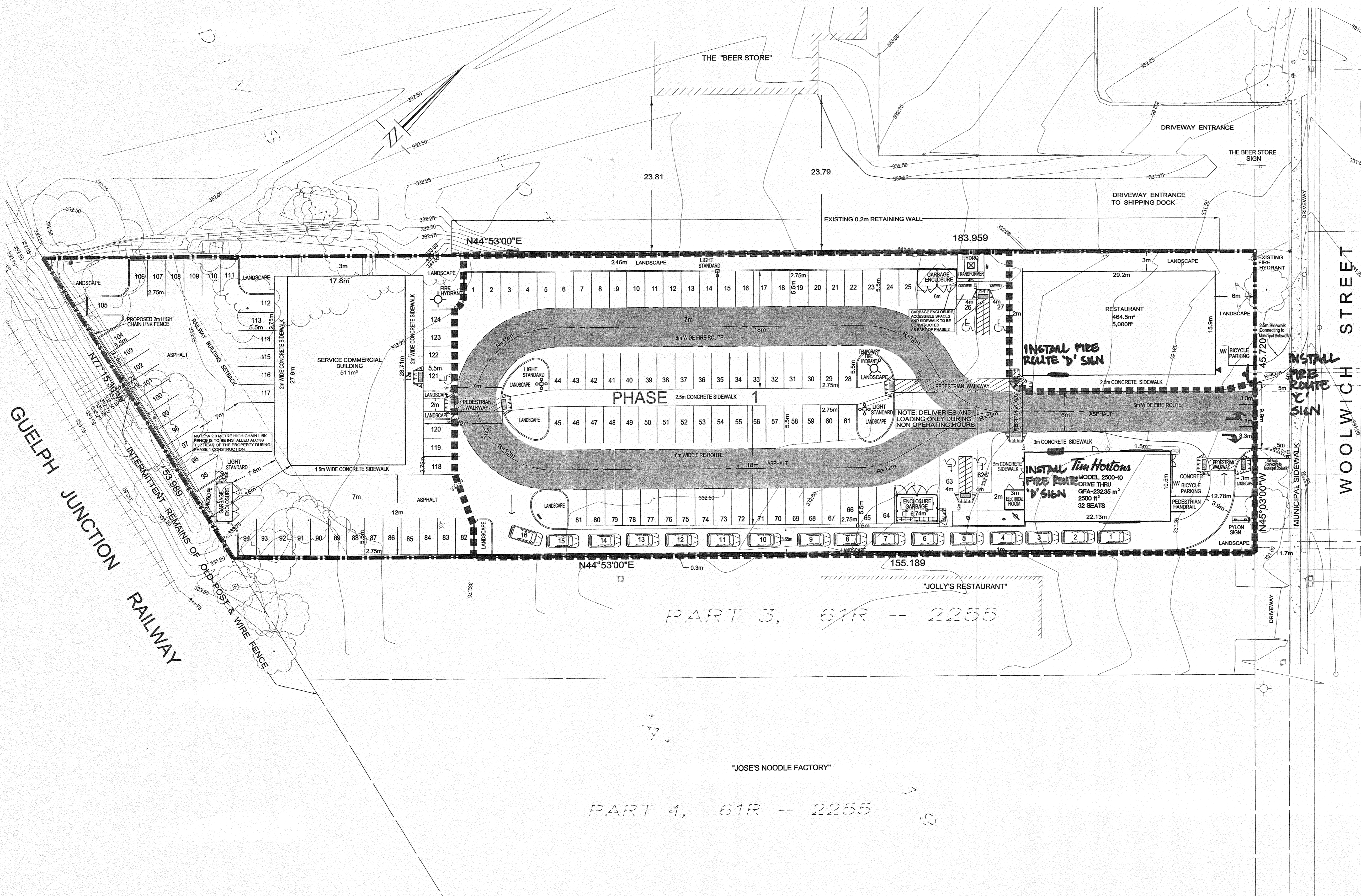
STOP SIGN

Rb-93

C

D

Ra-1



ASTRID J. CLOS  
PLANNING CONSULTANTS

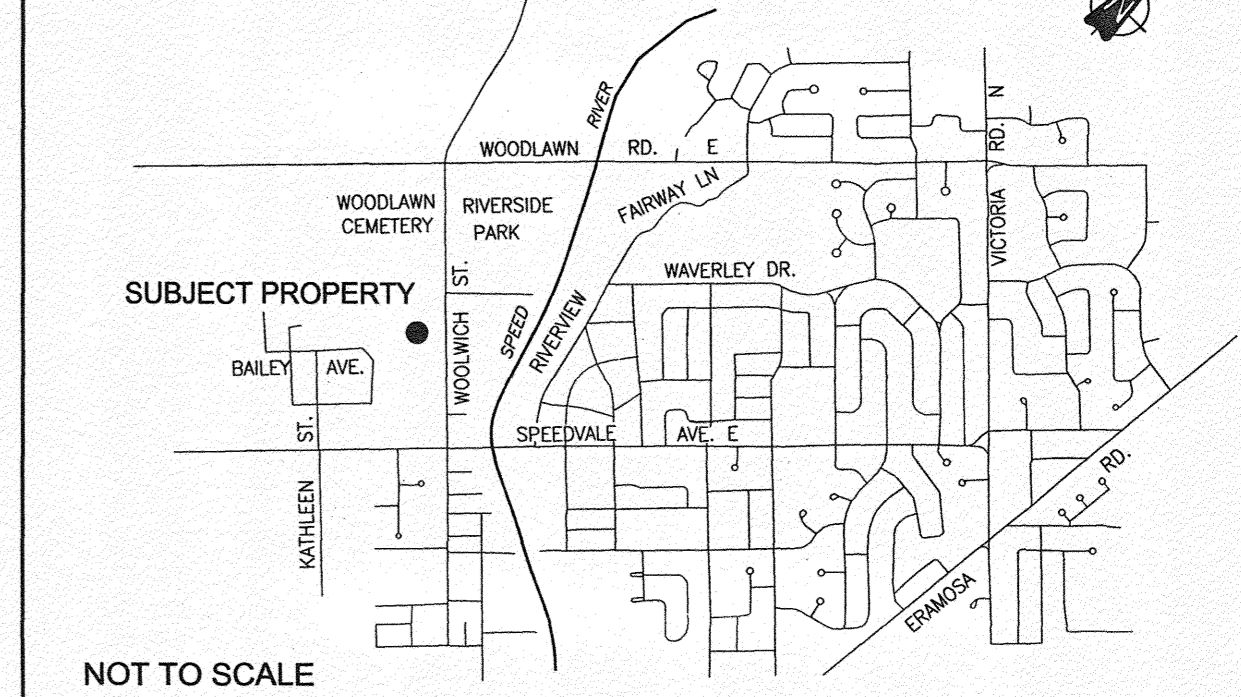
423 WOOLWICH STREET, SUITE 201  
GUELPH - ONTARIO  
Phone: (519) 836-7526 (836-PLAN)  
Fax: (519) 836-9568  
Cell: (519) 710-7526 (710-PLAN)  
Email: astrid.clos@ajcplanning.ca  
Web: www.ajcplanning.ca

PHASE 1  
SITE PLAN SP10C013  
AVILA INVESTMENTS  
698-700 WOOLWICH STREET

DATE: MAY 4, 2011 DRAWN BY: G.K.S.

PROJECT No. 0701 SCALE: 1:300

KEY MAP



NOT TO SCALE

LEGAL DESCRIPTION

PARTS 1 AND 2, PLAN 61R-2255  
PART OF LOT 19, DIVISION 'A'  
GEOGRAPHIC TOWNSHIP OF GUELPH  
CITY OF GUELPH

TOTAL AREA 0.7751 ha

Specialized (SC.1-10) Service Commercial Zone

Zoning Regulation	Required	Provided	Compliance
Minimum Lot Frontage	30 m	45.72 m	Yes
Minimum Front Yard	6 m	6 m	Yes
Minimum Side Yard	3 m	3 m	Yes
Minimum Rear Yard	6 m	15 m	Yes
Maximum Building Height	3 storeys	1 storey	Yes
Off-street Parking (4.13)	124 parking spaces	124 parking spaces	Yes
Off-Street Loading (4.14)	Adequate loading spaces provided	Adequate loading spaces provided	Yes
Minimum Landscaped Open Space	10%	13%	Yes
Garbage, Refuse Storage and Composters (4.9)	Rear yard	Rear yard	Yes
	Visual screening	Visual screening	Yes
	0.6 m from lot line	1.6 m from lot line	Yes
	3 m	3 m	Yes

CITY OF GUELPH  
APPROVED FOR DEVELOPMENT  
Subject to revisions and conditions  
Pursuant to Section 41.04  
of the Planning Act, R.S.O. 1990  
CP 13 as amended.  
Date: June 16, 2011  
Astrid J. Clos  
Professional Planner



RECEIVED  
MAY 25 2011  
Planning, Engineering & Environmental Services

REDLINED