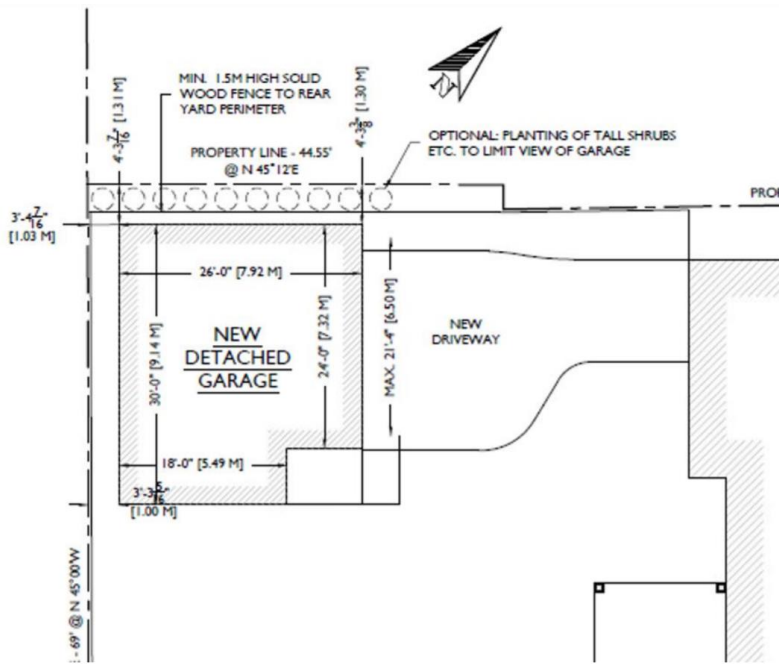
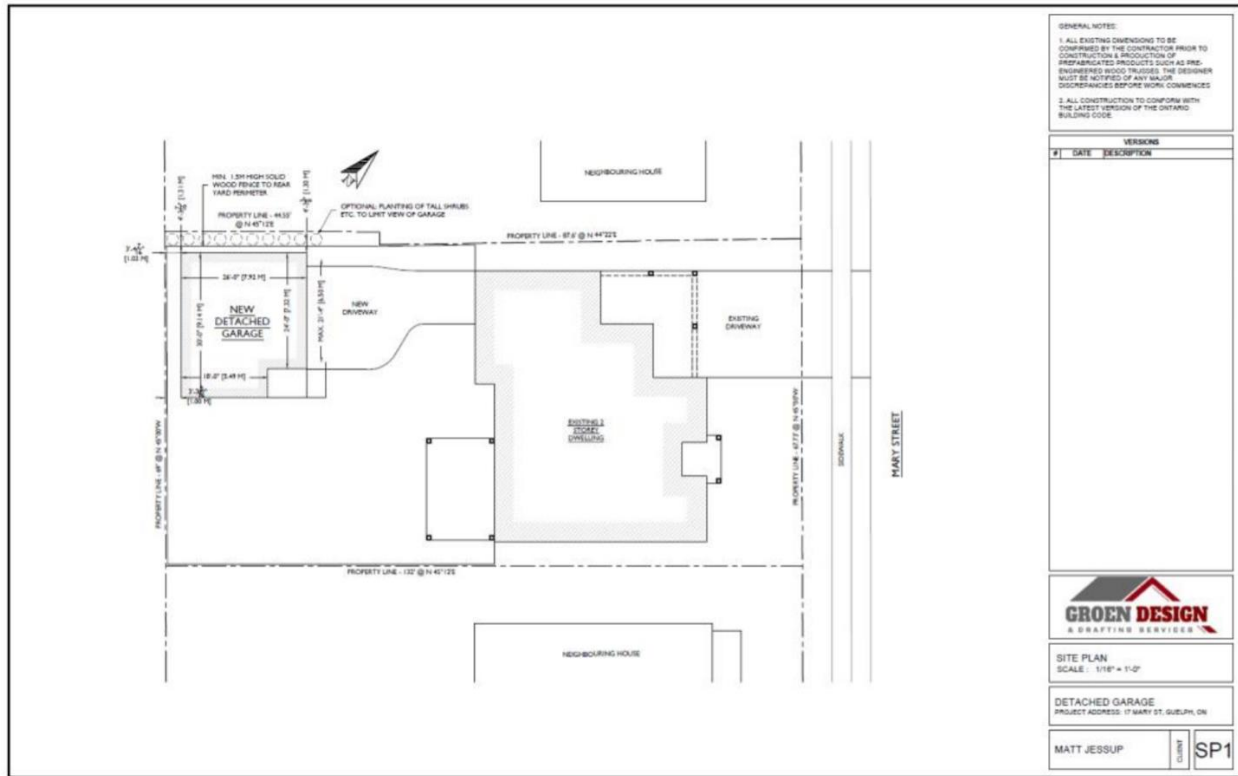
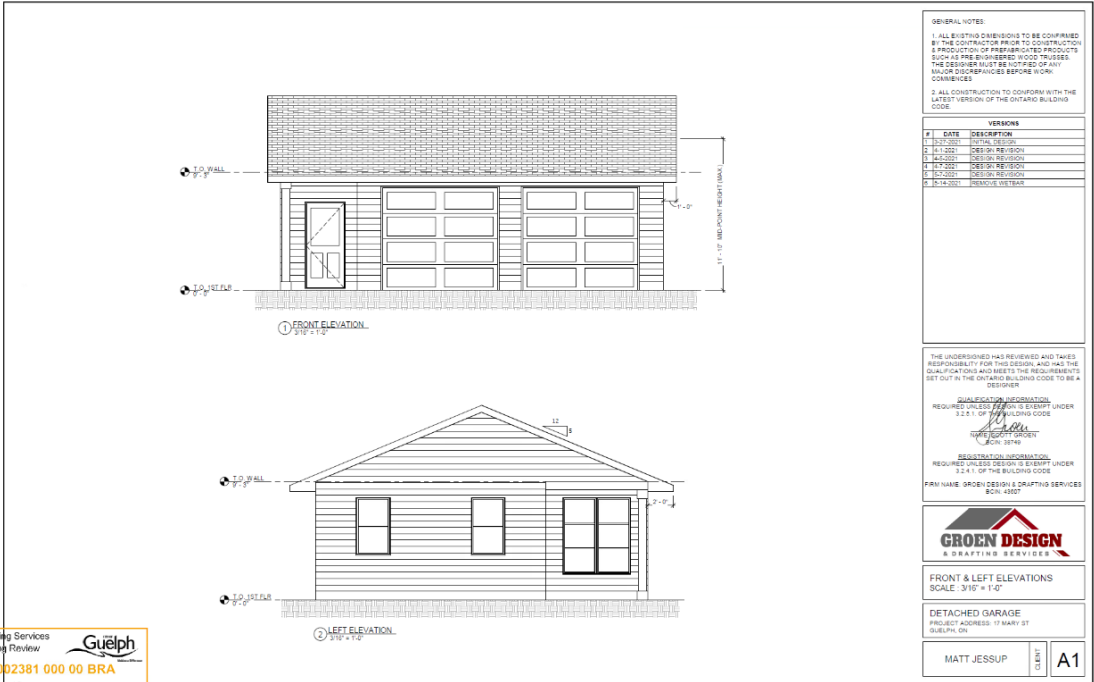


Attachment-3 Proposed Design of Detached Garage at 17 Mary Street



Proposed Site Plan for Detached Garage at 17 Mary Street



GENERAL NOTES:

1. ALL EXISTING DIMENSIONS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & PRODUCTION OF PREFABRICATED PRODUCTS SUCH AS PRE ENGINEERED WOOD TRUSSES.
2. THE DESIGNER MUST BE NOTIFIED OF ANY MAJOR DISCREPANCIES BEFORE WORK COMMENCES.
3. ALL CONSTRUCTION TO CONFORM WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.

VERSIONS		
#	DATE	DESCRIPTION
1	11-20-2021	INITIAL DESIGN
2	11-20-2021	DESIGN REVISION
3	11-20-2021	DESIGN REVISION
4	11-20-2021	DESIGN REVISION
5	11-20-2021	DESIGN REVISION
6	11-14-2021	REMOVE VESTIB

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.2.1. OF THE BUILDING CODE
 MATT JESSUP
 1000-1000-1000-1000

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

FIRM NAME: GROEN DESIGN & DRAFTING SERVICES
 BCHL 4367

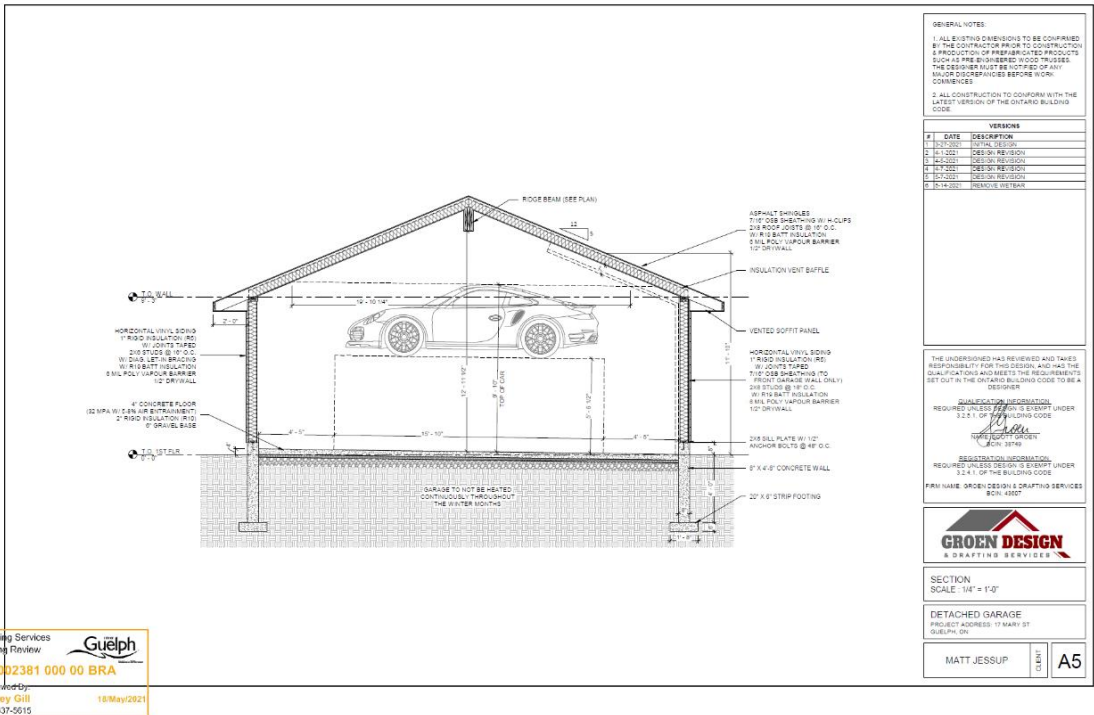
GROEN DESIGN & DRAFTING SERVICES

FRONT & LEFT ELEVATIONS
 SCALE: 3/16" = 1'-0"

DETACHED GARAGE
 PROJECT ADDRESS: 17 MARY ST
 GUELPH, ON

MATT JESSUP CLIENT **A1**

Building Services
 Zoning Review
21 002381 000 00 BRA
 Reviewed By:
 Lesley Gill 18 May 2021
 519-837-5615



GENERAL NOTES:

1. ALL EXISTING DIMENSIONS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & PRODUCTION OF PREFABRICATED PRODUCTS SUCH AS PRE ENGINEERED WOOD TRUSSES.
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 MATT JESSUP
 1000-1000-1000-1000

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

FIRM NAME: GROEN DESIGN & DRAFTING SERVICES
 BCHL 4367

GROEN DESIGN & DRAFTING SERVICES

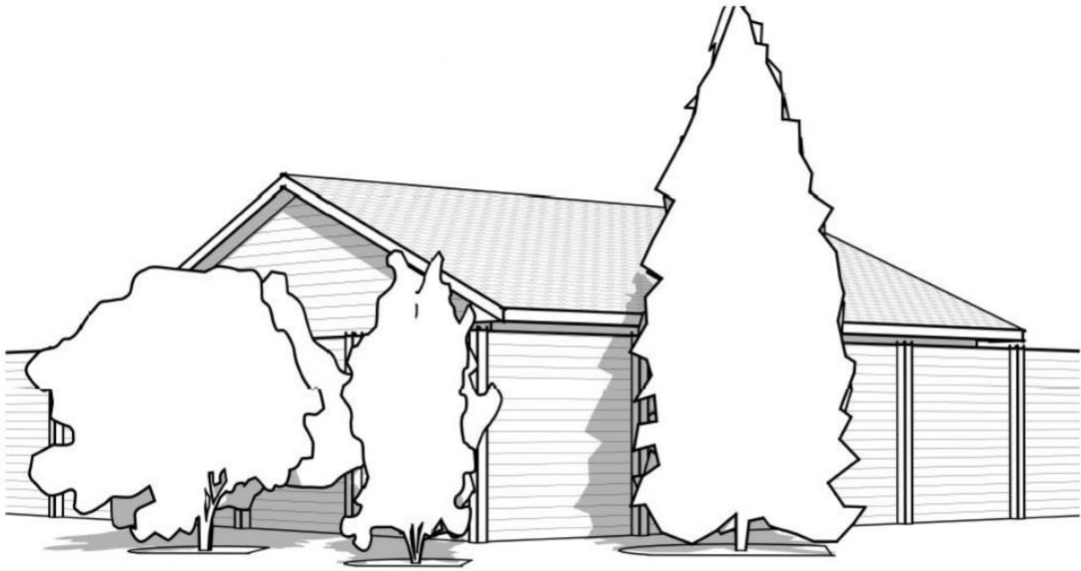
SECTION
 SCALE: 1/8" = 1'-0"

DETACHED GARAGE
 PROJECT ADDRESS: 17 MARY ST
 GUELPH, ON

MATT JESSUP CLIENT **A5**

Building Services
 Zoning Review
21 002381 000 00 BRA
 Reviewed By:
 Lesley Gill 18 May 2021
 519-837-5615

Proposed Elevation and Section Drawings for Detached Garage at 17 Mary Street



Perspective Views of Proposed Garage Design at 17 Mary Street