

RENOVATED LOFT PLAN
SCALE 1/4" = 1'-0"

JOIST HANGER SCHEDULE:
H1 LSSR210-22

Philip R. Beuglet Residential Design

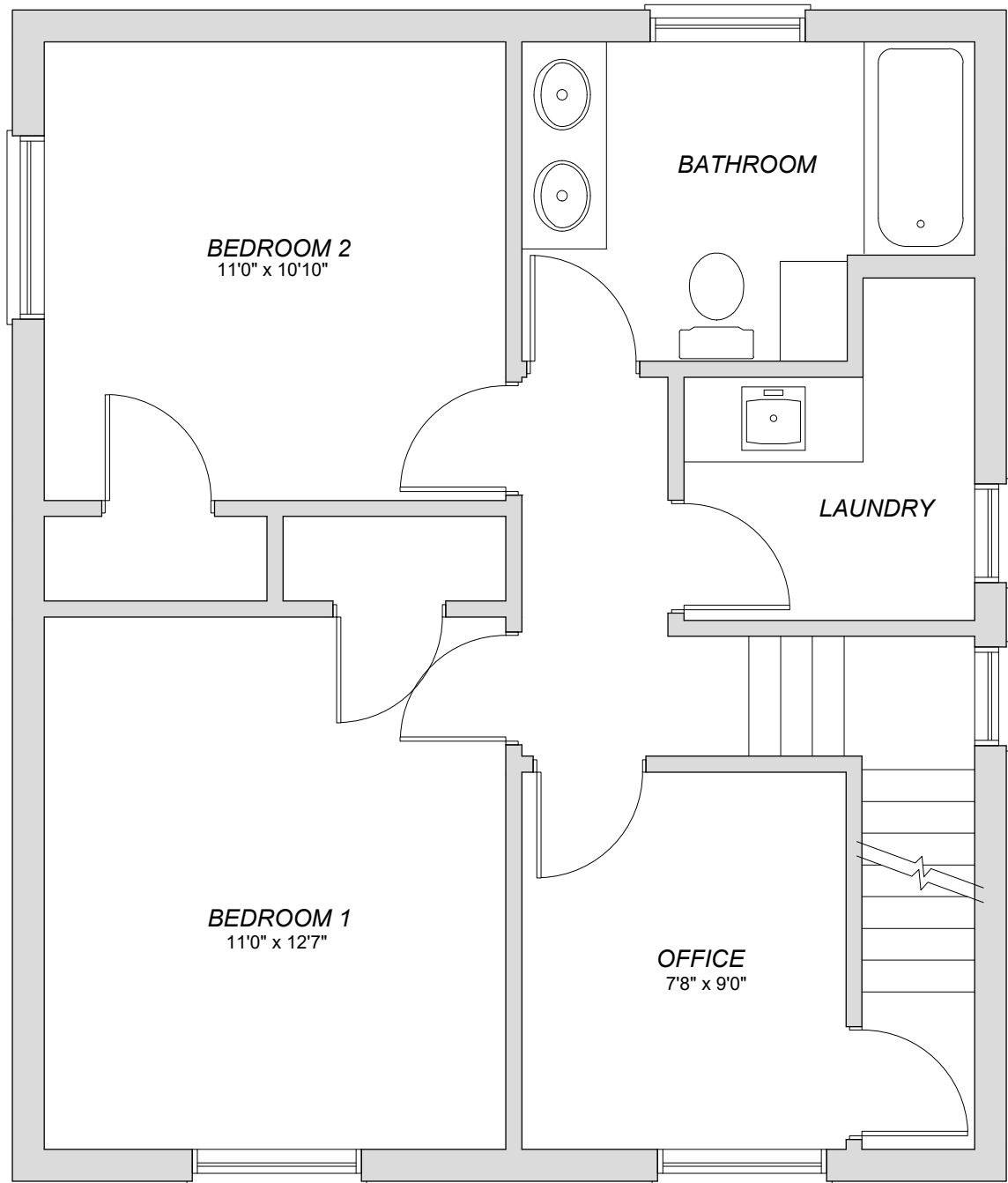
The undersigned has reviewed and taken responsibility for this design and is registered under OBC Division C, 3.2.4. The designer is qualified in the appropriate classes/categories.

Phil Beuglet
Signature: _____ Date: Dec. 20, 2022
Designer: Philip R. Beuglet
BCIN: 22591 Firm BCIN: 31871



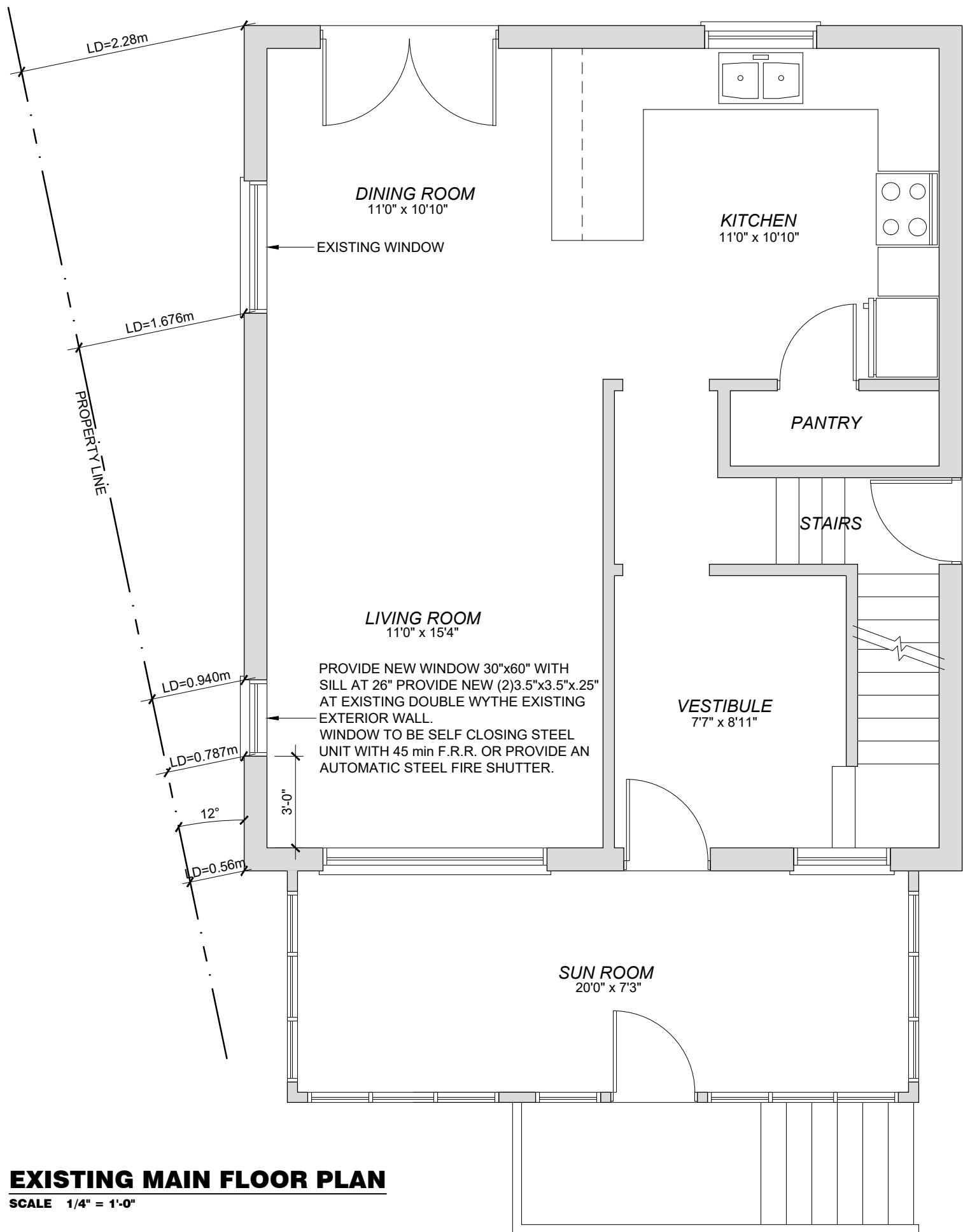
**PRB
RESIDENTIAL
DESIGN**

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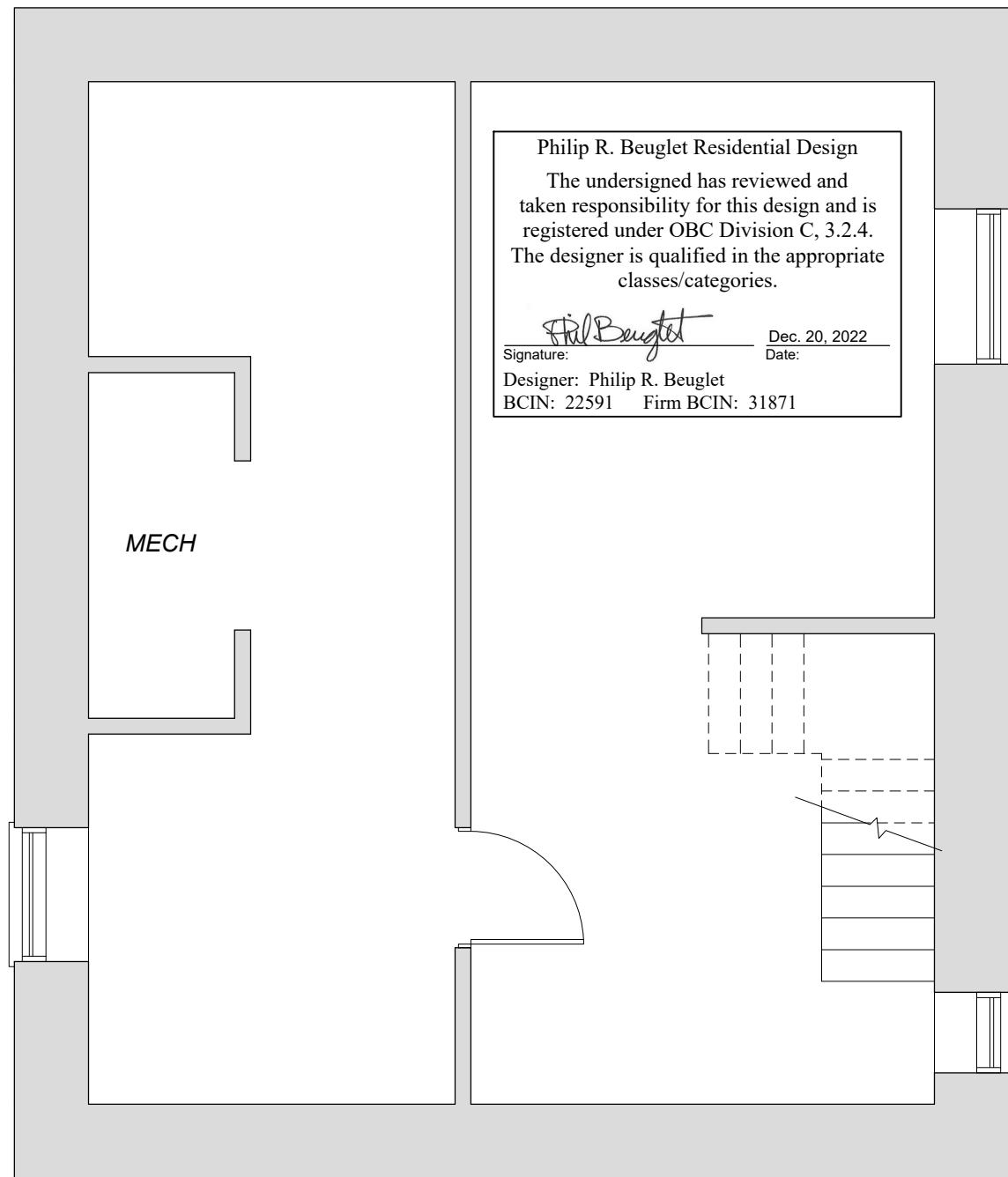


EXISTING 2nd FLOOR PLAN
SCALE 1/4" = 1'-0"

SHEET TITLE				PROJ. NO.		2022-06					
FLOOR PLANS				DATE		MARCH, 2022					
				DRAWN BY		PRB					
				CHECKED		PRB					
				SCALE		1/4" = 1'-0"					
				DRAWING NO.							
PROJECT				LOFT RENOVATION 77 FOSTER AVE. GUELPH, ON N1H 3B4							
△		DATE		REVISION		△		DATE		REVISION	



EXISTING MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



EXISTING BASEMENT FLOOR PLAN

SCALE 1/4" = 1'-0"



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SHEET TITLE		FLOOR PLANS			
PROJECT		LOFT RENOVATION			
77 FOSTER AVE.		N1H 3B4			
GUELPH, ON					
△	DATE	REVISION	△	DATE	REVISION

Philip R. Beuglet Residential Design

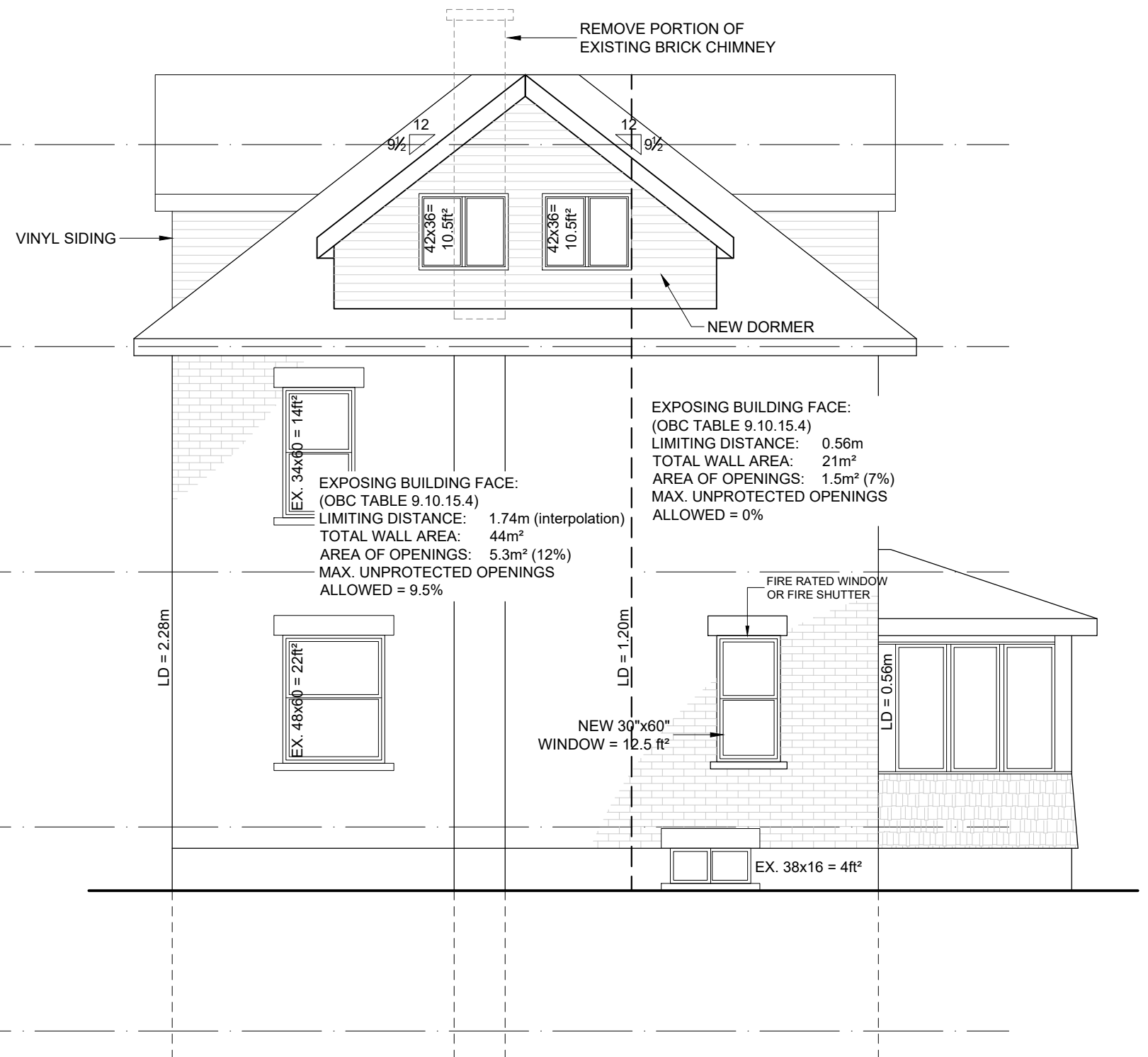
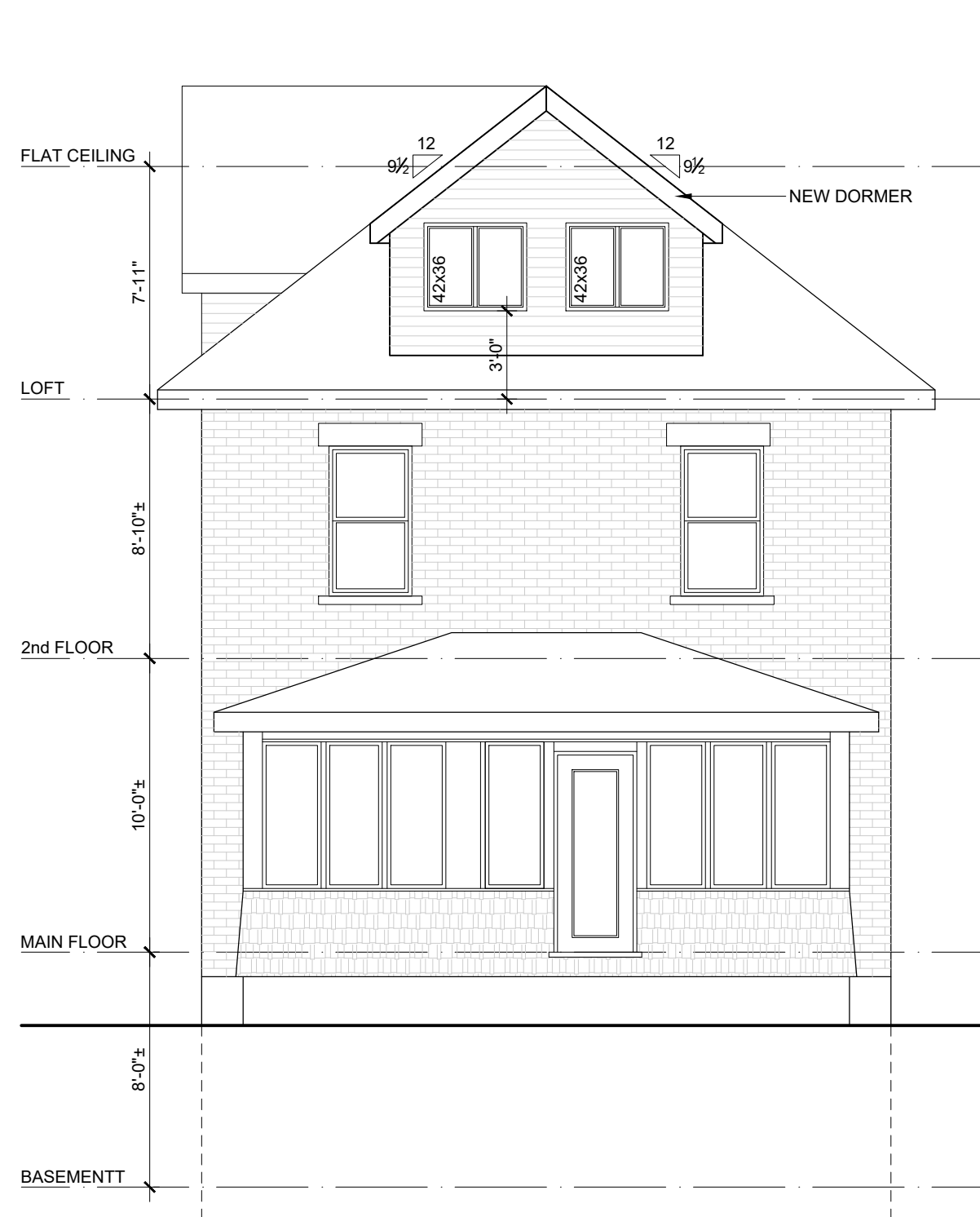
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Signature: *Philip R. Beuglet* Date: Dec. 20, 2022

Designer: Philip R. Beuglet
BCIN: 22591 Firm BCIN: 31871

PROJ. NO.	2022-06
DATE	MARCH, 2022
DRAWN BY	PRB
CHECKED	PRB
SCALE	1/4" = 1'-0"
DRAWING NO.	

A3



Philip R. Beuglet Residential Design

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Designer: Philip R. Beuglet
BCIN: 22591 Firm BCIN: 31871



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SHEET TITLE		
ELEVATIONS		
PROJECT		
LOFT RENOVATION		
77 FOSTER AVE.		
GUELPH, ON		N1H 3B4
△	DATE	REVISION
△	DATE	REVISION

PROJ. NO.	2022-06
DATE	MARCH, 2022
DRAWN BY	PRB
CHECKED	PRB
SCALE	3/16" = 1'-0"
DRAWING NO.	



REAR (NORTH) ELEVATION
SCALE 3/16" = 1'-0"



RIGHT SIDE (EAST) ELEVATION
SCALE 3/16" = 1'-0"

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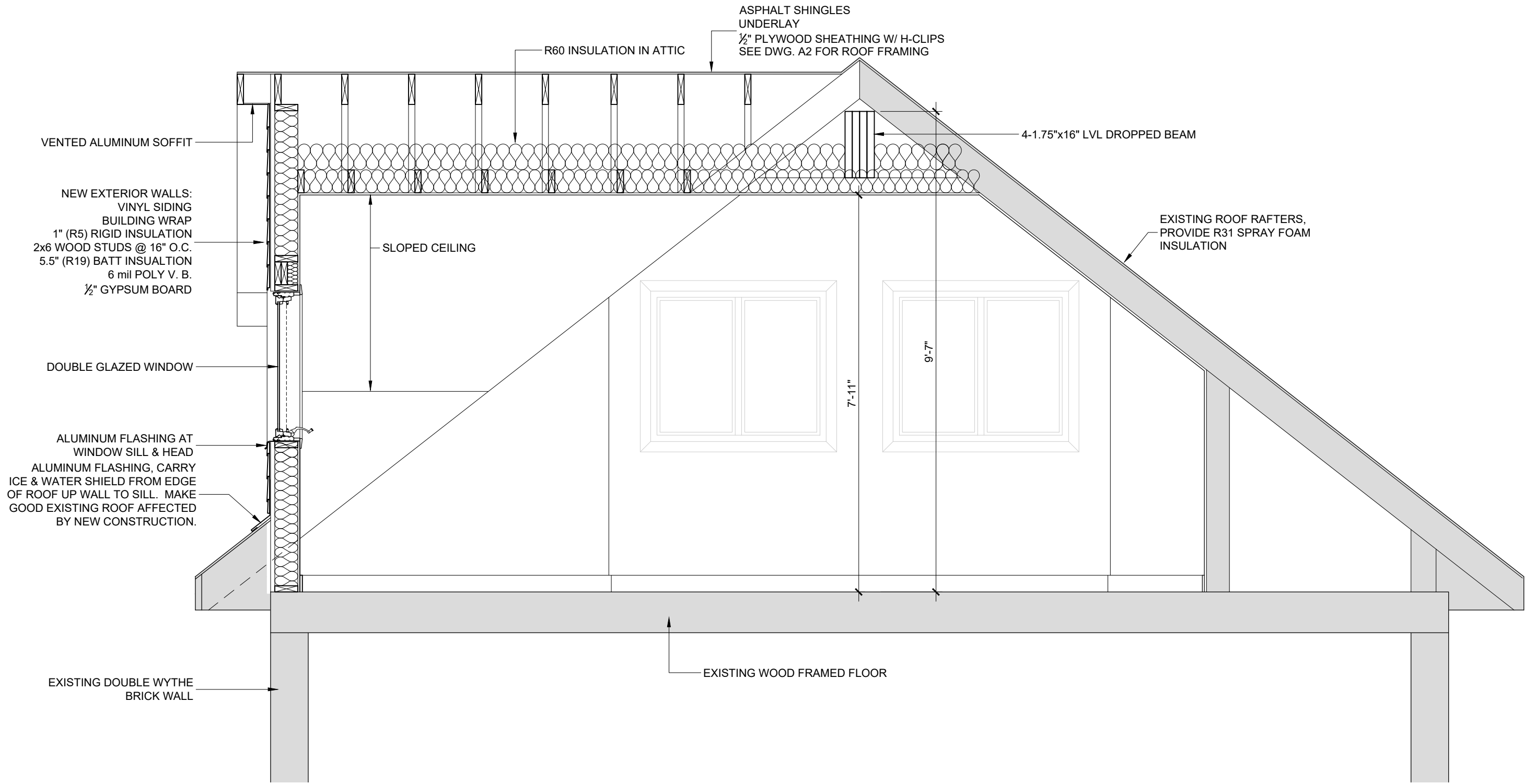


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SHEET TITLE		ELEVATIONS	
PROJECT		LOFT RENOVATION 77 FOSTER AVE. GUELPH, ON	
		N1H 3B4	
△	DATE	REVISION	△
△	DATE	REVISION	

PROJ. NO.	2022-06
DATE	MARCH, 2022
DRAWN BY	PRB
CHECKED	PRB
SCALE	3/16" = 1'-0"
DRAWING NO.	A5



Philip R. Beuglet Residential Design

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Phil Beuglet
Signature: _____ Date: Dec. 20, 2022

Designer: Philip R. Beuglet
BCIN: 22591 Firm BCIN: 31871



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SHEET TITLE				LOFT SECTION			
PROJECT				LOFT RENOVATION			
77 FOSTER AVE.				N1H 3B4			
GUELPH, ON							
△	DATE	REVISION		△	DATE	REVISION	

PROJ. NO.	2022-06
DATE	MARCH, 2022
DRAWN BY	PRB
CHECKED	PRB
SCALE	1/2" = 1'-0"
DRAWING NO.	A6

GENERAL NOTES:

1. UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN.
2. ALL WORK ON THIS PROJECT SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE (OBC 2012 r2022), ANY LOCAL REGULATIONS AND BYLAWS, AND THE 2012 OCCUPATIONAL HEALTH AND SAFETY ACT (OHSa) FOR CONSTRUCTION PROJECTS. ALL CODES AND STANDARDS SHALL BE THOSE REFERENCED IN OBC 2012 r2022.
3. THIS SET OF DRAWINGS SUPERCEDES AND REPLACES ALL PREVIOUS DRAWINGS.
4. READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED CONTRACT DOCUMENTS AND MECHANICAL AND ELECTRICAL DRAWINGS.
5. IF ANY STRUCTURAL DISCREPANCIES ON THE DRAWINGS EXIST, THE MOST STRINGENT SHALL APPLY.
6. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE SITE AND REPORT TO THE DESIGNER ANY DISCREPANCIES OR UNSATISFACTORY CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE PROJECT BEFORE PROCEEDING WITH THE WORK.
7. DRAWINGS ARE NOT TO BE SCALED.
8. THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR CONSTRUCTION LOADS AND TEMPORARY BRACING TO KEEP STRUCTURE PLUMB AND IN TRUE ALIGNMENT AT ALL PHASES OF CONSTRUCTION. ANY BRACING MEMBERS SHOWN ON THE DRAWINGS ARE REQUIRED FOR THE FINISHED STRUCTURE AND MAY NOT BE SUFFICIENT FOR ERECTION PURPOSES.
9. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY. NO CHANGES SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL.
10. CONTACT TACOMA ENGINEERS FOR CONSTRUCTION REVIEWS AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.

STRUCTURAL FRAMING:

1. ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23. U.N.O. ON THE DRAWINGS.
2. LUMBER SHALL BE SPF No. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS.
3. LUMBER SHALL NOT BE NOTCHED OR DRILLED IN THE FIELD WITHOUT PERMISSION OF TACOMA ENGINEERS OTHER THAN AS SPECIFIED BY OBC 9.23.5.
4. ENGINEERED LUMBER (TJI, LVL, PSL, LSL) MAY BE DRILLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND DETAILS.
5. THICKNESS AND TYPE OF SUBFLOOR, ROOF SHEATHING AND WALL SHEATHING SHALL CONFORM TO OBC 9.23.14., 9.23.15., AND 9.23.16 RESPECTIVELY.
6. WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT PROTECTION. PROVIDE EITHER PRESSURE TREATED LUMBER, SUITABLE WOOD PRESERVATIVE OR 6 MIL (0.152mm) POLYETHYLENE SHEET.
7. USE JOIST HANGERS WHERE FRAMING MEMBERS CONNECT INTO THE SIDES OF SUPPORTING MEMBERS.
8. ALL STEEL CONNECTORS (UPLIFT CLIPS, BRACKETS, JOIST HANGERS etc.) SHALL BE SIMPSON STRONG TIE CONNECTORS UNLESS NOTED OTHERWISE. FASTEN AS PER THE MANUFACTURER'S SPECIFICATIONS ASSUMING MAXIMUM NAILING U.N.O. TYPICAL BEAM HANGERS REQUIRE 16d NAILS (3" LONG).
9. ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE ACQ APPROVED, HOT DIP GALVANIZED (TO CSA-G164) OR STAINLESS STEEL.
10. FOR SOLID AND BUILT UP MEMBERS (TRUSSES, BEAMS, LINTELS) PROVIDE A BUILT UP POST WITH AN EQUAL OR GREATER THICKNESS UNLESS NOTED OTHERWISE. ALL BUILT UP POSTS TO BE CONTINUOUS (INCLUDING TRANSFER BLOCKING AT FLOORS) DOWN TO THE FOUNDATIONS.
11. ALL BUILT-UP WOOD BEAMS TO BE FASTENED TOGETHER WITH THREE 3" COMMON NAILS AT 8" O.C. FOR EVERY PLY AND EACH BUILT-UP WOOD POST TO BE CONNECTED WITH TWO 3" COMMON NAILS AT 8" O.C. UNLESS NOTED OTHERWISE.
12. PROVIDE SOLID BLOCKING OR MECHANICAL CONNECTIONS AT THE TOP AND BOTTOMS OF BEAMS AT BEARING POINTS TO PREVENT MOVEMENT OR ROTATION.
13. LVL = WEYERHAEUSER 2600Fb 2.0E MICROLLAM LVL, WITH MINIMUM VALUES:
- E = 2.0 x 10^6 psi, fb = 4,805 psi, fv = 530 psi, G = 125,000 psi, fc_perp = 1365 psi
- APPROVED EQUIVALENTS: WEST FRASER LVL 3100Fb 2.0E; LP SOLID START LVL 2900Fb 2.0E; BOISE CASCADE VERSA-LAM 3100Fb 2.0E.

DESIGN LOADS: (PART 9)

SNOW: Ss = 1.9 kPa, Sr = 0.4 kPa
S = 1.45 kPa (GUELPH)
LIVE: LL = 1.9 kPa

DEAD: DL ROOF = 0.75 kPa
DL FLOOR = 0.5 kPa

FOUNDATIONS TO BEAR DIRECTLY ON MATERIAL SUITABLE FOR 75 kPa (1500 psf) BEARING PRESSURE, UNLESS NOTED OTHERWISE.

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P. Beuglet Dec. 20, 2022
Signature: Date:

Designer: Philip R. Beuglet
BCIN: 22591 Firm BCIN: 31871



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NOTES					
PROJECT					
LOFT RENOVATION					
77 FOSTER AVE.					
GUELPH, ON			N1H 3B4		
△	DATE	REVISION	△	DATE	REVISION

PROJ. NO.	2022-06
DATE	MARCH, 2022
DRAWN BY	PRB
CHECKED	PRB
SCALE	N.T.S.
DRAWING NO.	A7