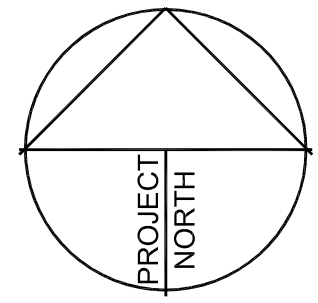
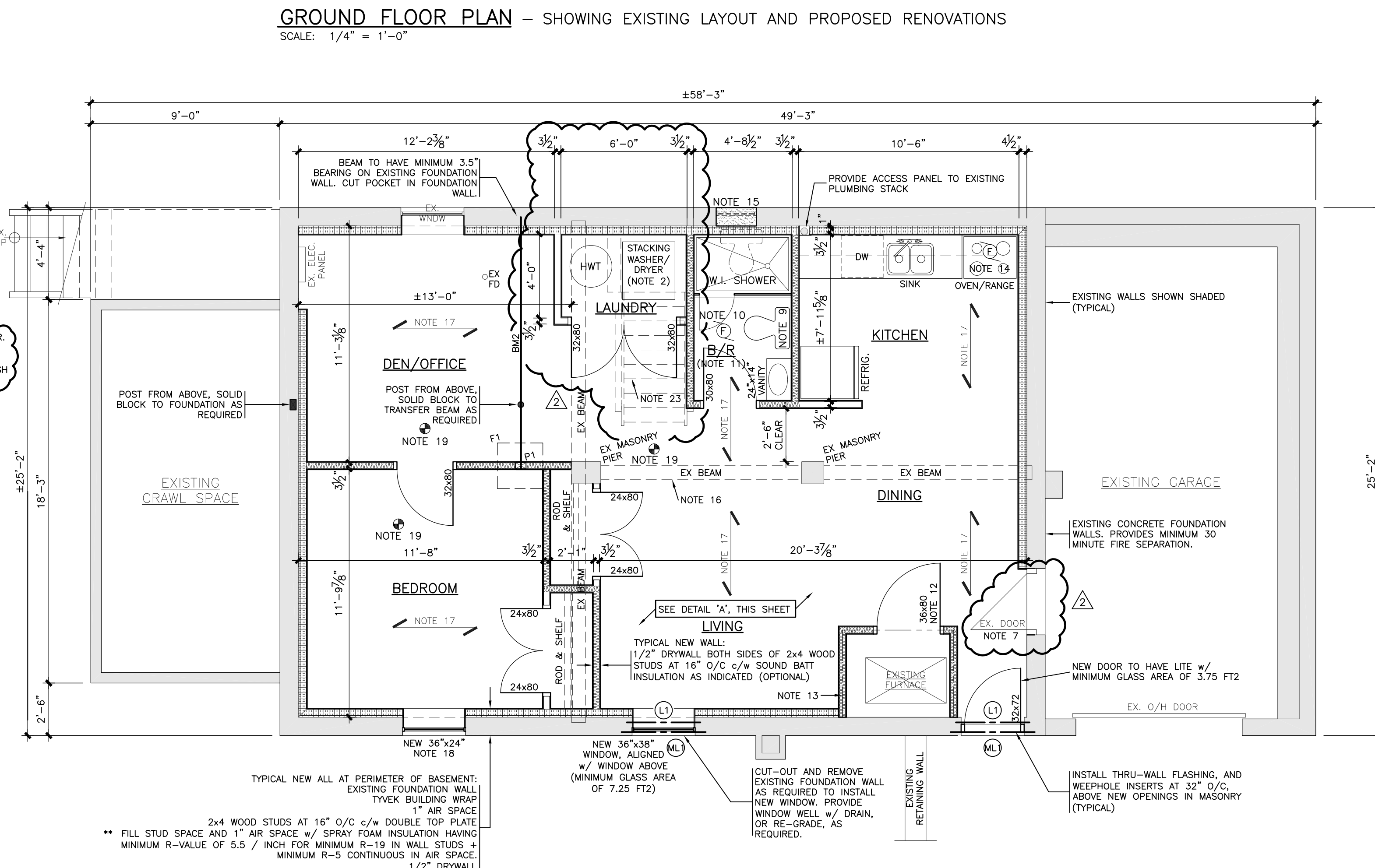
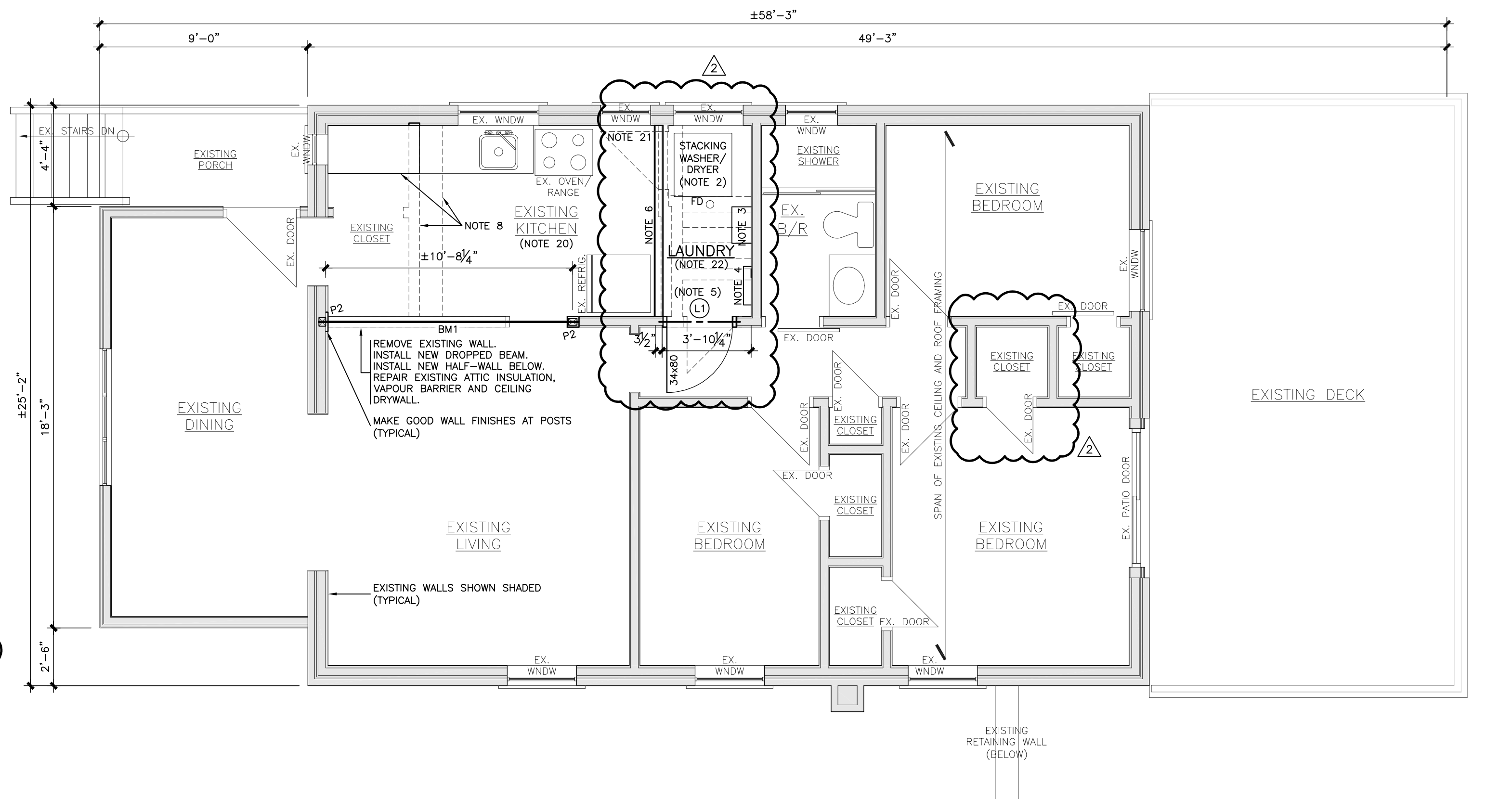
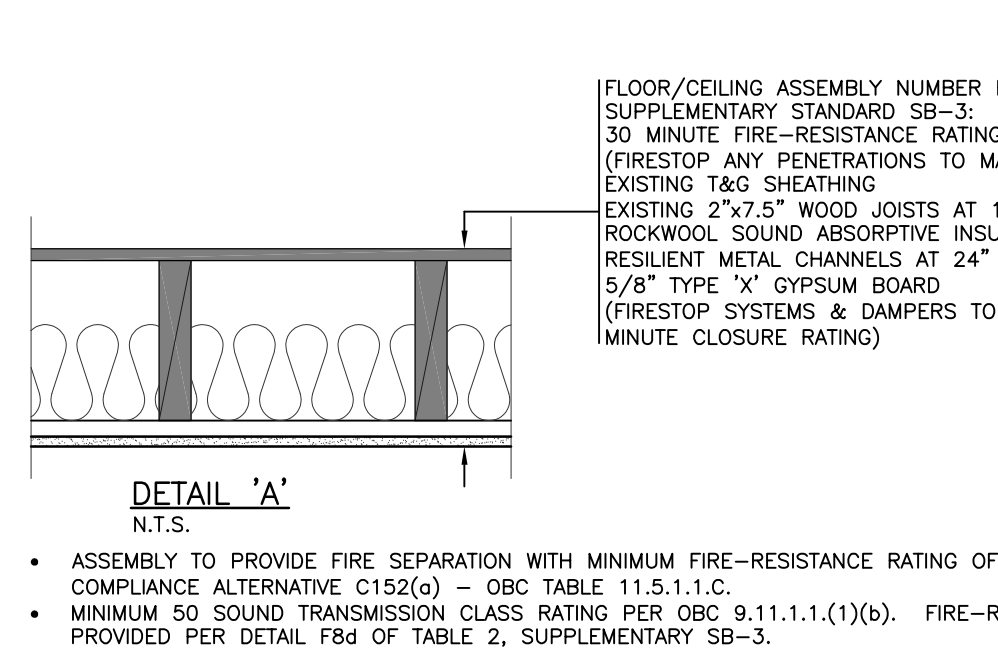


- GENERAL NOTES**
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 OHIO BUILDING CODE, CURRENT EDITION, AND LOCAL REGULATIONS AND BYLAWS, AND THE CURRENT EDITION OF THE OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA) FOR CONSTRUCTION PROJECTS. ALL CODES AND STANDARDS SHALL BE THOSE REFERENCED IN OBC 9.23.2.
 - THE SET OF DRAWINGS, SPECIFICATIONS AND REPLACES ALL PREVIOUS DRAWINGS.
 - WHERE THERE ARE DISCREPANCIES ON THE DRAWINGS AND THE OBC DO NOT AGREE, THE MOST STRINGENT CONDITIONS SHALL GOVERN.
 - IF ANY STRUCTURAL DISCREPANCIES ON THE DRAWINGS EXIST, THE MOST STRINGENT SHALL APPLY.
 - CONTRACTOR TO VERIFY CONDITIONS AND MEASUREMENTS AT THE SITE AND REPORT TO THE DESIGNER ANY DISCREPANCIES OR CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE PROJECT BEFORE PROCEEDING WITH THE WORK.
 - DRAWINGS ARE NOT TO BE SCALED.
 - CONTRACTOR TO VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - FIELD VERIFY ALL DIMENSIONS TO SUIT TIE-IN WITH EXISTING STRUCTURE.
 - DIMENSIONS SHOWN ARE TO FACE OF WOOD STUDS, EXTERIOR FACE OF EXISTING WALLS, CENTRELINE OF OPENINGS OR TO FACE OF CONCRETE/MASONRY.
 - MAKE GOOD EXISTING FINISHES DISTURBED BY NEW WORK.
 - ALL LUMBER TO BE MINIMUM SPF No. 1 / 2.
 - USE PRE-MANUFACTURED METAL JOIST HANGERS APPROPRIATE FOR SPECIFIC USE.
 - READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED PROJECT DRAWINGS AND DOCUMENTS.
 - NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, TEMPORARY SUPPORTS, ETC. AS REQUIRED TO SAFEGUARD THIS WORK OR EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - PROVIDE POLY OR SILL GASKET AS SEPARATION SHEET BETWEEN WOOD AND CONCRETE/MASONRY.
 - ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23.2, U.O. ON THE DRAWINGS.
- MECHANICAL AND ELECTRICAL SERVICES**
- MECHANICAL AND ELECTRICAL SERVICES SHALL BE LOCATED ON SITE BY OTHERS. CLEARANCES AND INSTALLATIONS SHALL BE PER LOCAL CODE REQUIREMENTS.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.
 - MECHANICAL HEATING (AND COOLING) SYSTEM IS REQUIRED. HEATING AND COOLING SYSTEMS SHALL BE DESIGNED BY OTHERS AND PRODUCED FOR THE CITY OR MUNICIPALITY WHEN REQUIRED.
 - PROVIDE MINIMUM 80 CFM EXHAUST FAN VENTED TO THE EXTERIOR IN ALL BATHROOMS AND IN THE KITCHEN. 3.5 IN. LAUNDRY ROOMS, ENSURE DRYER IS VENTED TO THE EXTERIOR. USE ONLY STRAIGHT RUN DUCT WORK, NOT 90° ELBOWS. MINIMUM 1/2" VENT LINES. EXHAUST FAN RUNS SHALL SECURE AN IN-LINE BOOSTER FAN.
 - DO NOT EXHAUST FAN EXHAUST FANS INTO THE ATTIC SPACE. ALL EXHAUST FANS SHALL EXTEND WITHIN THE FLOOR STRUCTURE (WHERE APPLICABLE) OR BELOW THE STRUCTURE WITHIN A BULKHEAD TO THE EXTERIOR WALL. TERMINATE WITH AN APPROVED ROOF COVER THAT WILL NOT PERMIT VERMIN FROM ENTERING THE BUILDING.
 - ALL ELECTRICAL WORK SHALL COMPLY WITH THE CANADIAN ELECTRICAL CODE AND THE ELECTRICAL SAFETY AUTHORITY.
 - CONTRACTOR SHALL APPLY FOR AND OBTAIN AN ELECTRICAL PERMIT FROM THE ELECTRICAL SAFETY AUTHORITY.
 - ALL ROOMS SHALL HAVE CEILING MOUNTED LIGHTS CONTROLLED WITH AT LEAST ONE SWITCH.
 - AN EXTERIOR LIGHT SWITCH SHALL BE PROVIDED AT EXTERIOR ENTRANCE.
 - STAIRS (WHEN APPLICABLE) SHALL BE LIGHTED AND CONTROLLED BY A THREE-WAY SWITCH AT THE TOP AND BOTTOM OF STAIRS (EXCLUDING 3 RISES).
 - RECEPTACLES SHALL BE LOCATED ALONG THE WALLS ACCORDING TO THE REQUIREMENTS OF THE CANADIAN ELECTRICAL CODE.
 - THE CONTRACTOR SHALL WORK WITH THE OWNER IN SELECTING THE APPROPRIATE LOCATION FOR LIGHT FIXTURES AND SWITCHES.
 - THE ELECTRICAL CONTRACTOR / GENERAL CONTRACTOR SHALL WORK WITH THE OWNER TO PICK ALL LIGHT FIXTURES TO BE USED.
 - PROVIDE OWNER WITH THE FINAL CERTIFICATE OF APPROVAL FROM THE ELECTRICAL SAFETY AUTHORITY AT THE COMPLETION OF THE FINAL ELECTRICAL INSPECTION.
- OBC COMPLIANCE ALTERNATIVES**
- HEIGHT TO U/S EXISTING FLOOR BEAMS: C102
 - HEIGHT OF NEW MAIN ENTRY DOOR: C10
 - REDUCED MINIMUM GLASS AREA: C107

- FLOOR PLAN NOTES**
- FIELD VERIFY ALL DIMENSIONS TO SUIT TIE-IN WITH EXISTING STRUCTURE.
 - VENT DRYER DIRECTLY TO EXTERIOR.
 - NEW TANKLESS WATER HEATER, FIELD VERIFY EXACT LOCATION.
 - NEW ELECTRICAL PANEL, FIELD VERIFY EXACT LOCATION.
 - REMOVE EXISTING WALLS AND DOOR OF CLOSET. INSTALL NEW WIDER DOOR W/ LINTEL ABOVE FOR ACCESS TO NEW SPACE.
 - NEW WALL: 1/2" DRYWALL ON BOTH SIDES OF 2x4 WOOD STUDS AT 16" O/C.
 - EXISTING DOOR TO REMAIN.
 - REMOVE EXISTING WALL AND CUPBOARDS, AND EXTEND KITCHEN INTO EXISTING CLOSET SPACE.
 - NEW 6L MAXIMUM FLUSH TOILET.
 - NEW 90 CFM WASHROOM EXHAUST FAN. DIRECT VENT TO EXTERIOR.
 - REMODEL EXISTING BATHROOM.
 - BATHROOM WALL NOTES:
 - 11.1 USE MOISTURE-RESISTANT GYPSUM BOARD IN BATHROOM.
 - 11.2 USE 1/2" TILE BACKER BOARD FOR WALLS OR SURFACES TO RECEIVE TILE.
 - 11.3 PROVIDE SOLID WOOD BLOCKING IN, OR 3/4" PLYWOOD OVER, WALLS TO RECEIVE FUTURE GRAB BARS.
 - SOLID WOOD DOOR (MIN. 20 MINUTE FIRE-PROTECTION RATING) c/w SELF-CLOSING DEVICE, DOOR AND FRAME TO MEET THICKNESS AND CLEARANCE REQUIREMENTS OF 9.10.13.2. AND 9.10.13.3.
 - WALLS AROUND FURNACE ROOM TO PROVIDE 30 MINUTE FIRE-SEPARATION: 1/2" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF 2x4 WOOD STUDS AT 16" O/C (ON CONTINUOUS OR SILL GASKET) c/w ROCKWOOL MINERAL BATT INSULATION. FIELD VERIFY EXACT LAYOUT TO SUIT EXISTING SERVICES.
 - PROVIDE NEW 90 CFM (MINIMUM) KITCHEN FAN, DIRECT VENT TO EXTERIOR. PROVIDE CLEARANCE AND PROTECTION AROUND STOVE PER OBC 9.10.22.2. AND 9.10.22.3.
 - REMOVE EXISTING WINDOW. INFILL W/ NEW CONCRETE TO MATCH EXISTING FOUNDATION WALL. APPLY DAMP-PROOFING AND WATERPROOFING MEMBRANE OVER JOINTS BELOW GRADE TO SEAL.
 - EXISTING BEAMS: 4 - 2" x 9.5" (HEIGHT TO U/S = 6'-3" 1/2").
 - SPAN OF EXISTING FLOOR JOISTS: 2" x 7.5" AT 16" O/C (HEIGHT TO U/S = 7'-1").
 - REPLACE EXISTING WINDOW W/ NEW 36" x 24" WINDOW. CUT-DOWN EXISTING FOUNDATION WALL AS REQUIRED. PROVIDE WINDOW WELL, OR RE-GRADE AS REQUIRED.
 - HARDWIRED AND INTERCONNECTED SMOKE ALARM/C.O. DETECTOR, c/w VISUAL AND AUDIBLE SIGNALING.
 - REWORK EXISTING KITCHEN CABINERY AND FIXTURES AS REQUIRED TO SUIT MODIFICATIONS TO LAYOUT.
 - REMOVE EXISTING DOOR.
 - REMOVE EXISTING WALLS, DOORS AND STAIRS. INFILL STAIR OPENING WITH NEW JOISTS AND PLYWOOD SUBFLOOR. INSTALL NEW WIDER DOOR W/ LINTEL ABOVE FOR ACCESS TO NEW LAUNDRY ROOM.
 - REMOVE EXISTING STAIR. INFILL OPENING W/ FLOOR JOISTS AND PLYWOOD SHEATHING TO MATCH EXISTING. FINISH PER TYPICAL NEW INSULATION/FIRE-RATED DRYWALL ASSEMBLY TO MAINTAIN SOUND AND FIRE RATINGS.

POST, BEAM, FOOTING AND LINTEL SCHEDULE

| | |
|-----|--|
| P1 | 4 - 2x4 |
| P2 | 3 - 2x4 |
| F1 | 26" x 26" x 10" THICK CONCRETE (20 MPa) PAD FOOTING |
| BM1 | 2 - 1.75" x 9.25" 2.0E LVL |
| BM2 | 3 - 1.75" x 9.25" 2.0E LVL RECESSED BEAM OR W6x20 DROPPED BEAM IF LVL, USE PRE-MANUFACTURED JOIST HANGERS TO CONNECT EXISTING JOISTS TO NEW BEAM. IF W6x20 IS MADE FLUSH, PACK-OUT WEB AND USE JOIST HANGERS TO CONNECT EXISTING JOISTS. |
| L1 | 2 - 2x8 |
| ML1 | L 3 1/2" x 3 1/2" x 1/4", MINIMUM 6" BEARING AT EACH END |



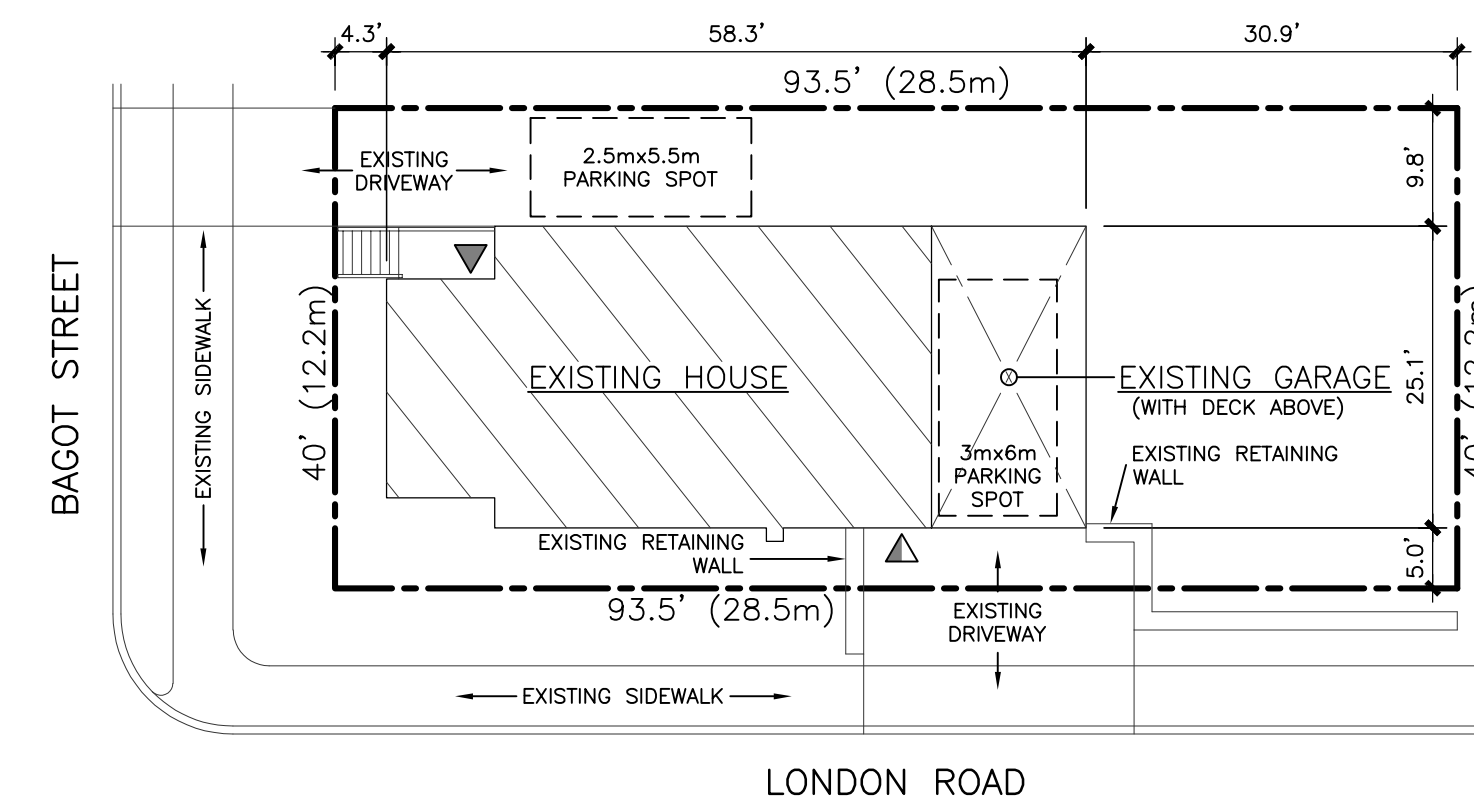
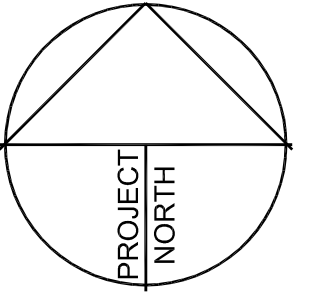
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|-----|---|------------|
| No. | Revision/Issue | Date |
| 2 | CONVERT TO DUPLEX - DELETE INTERNAL STAIR | 05 06 2023 |
| 1 | BUILDING PERMIT | 01 26 2023 |

OWNER:
SAMUAL ZAJDLIK

Project:
NEW BASEMENT ACCESSORY UNIT
83 BACOT STREET
GUELPH, ON N1H 5T7

Drawing Title:
FLOOR PLANS AND NOTES

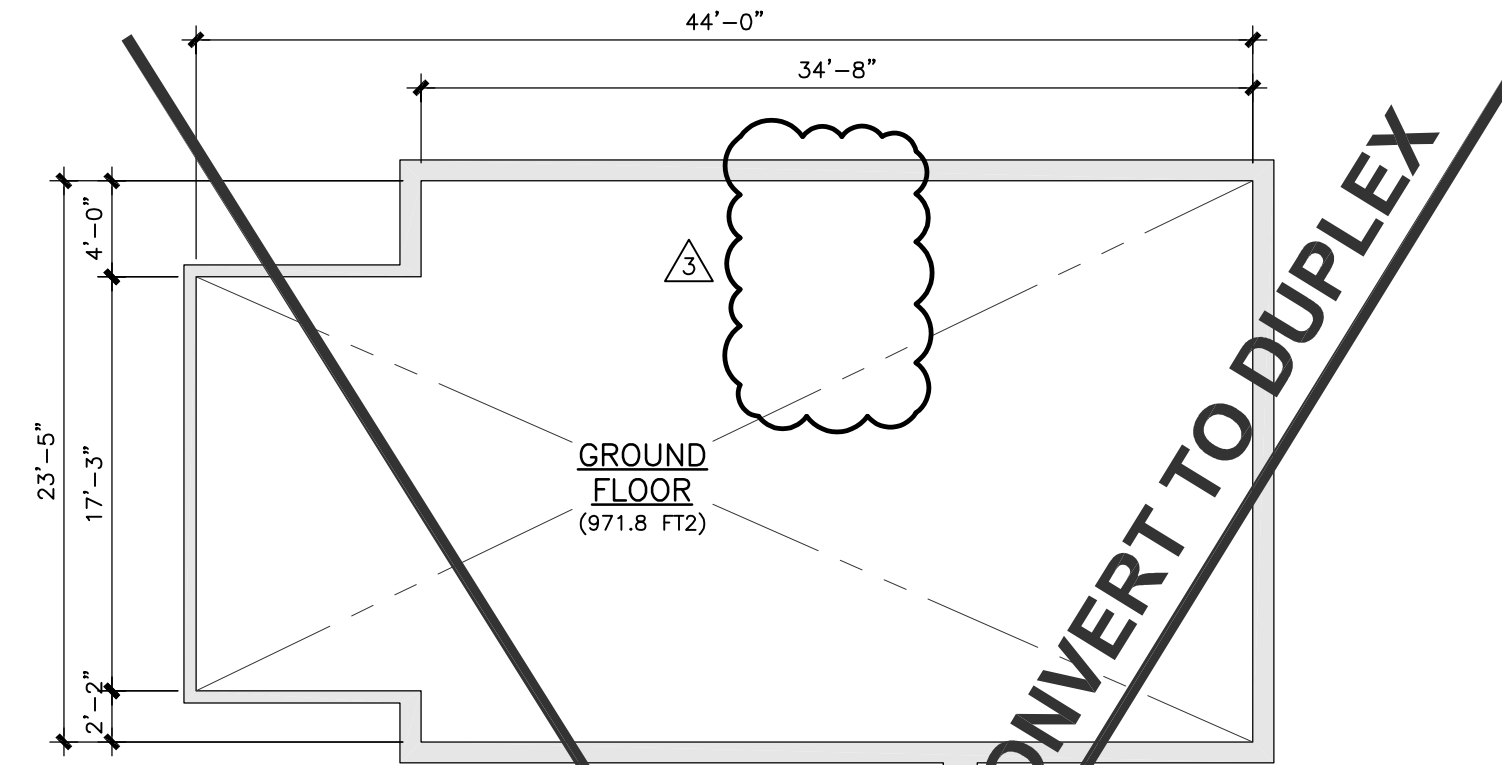
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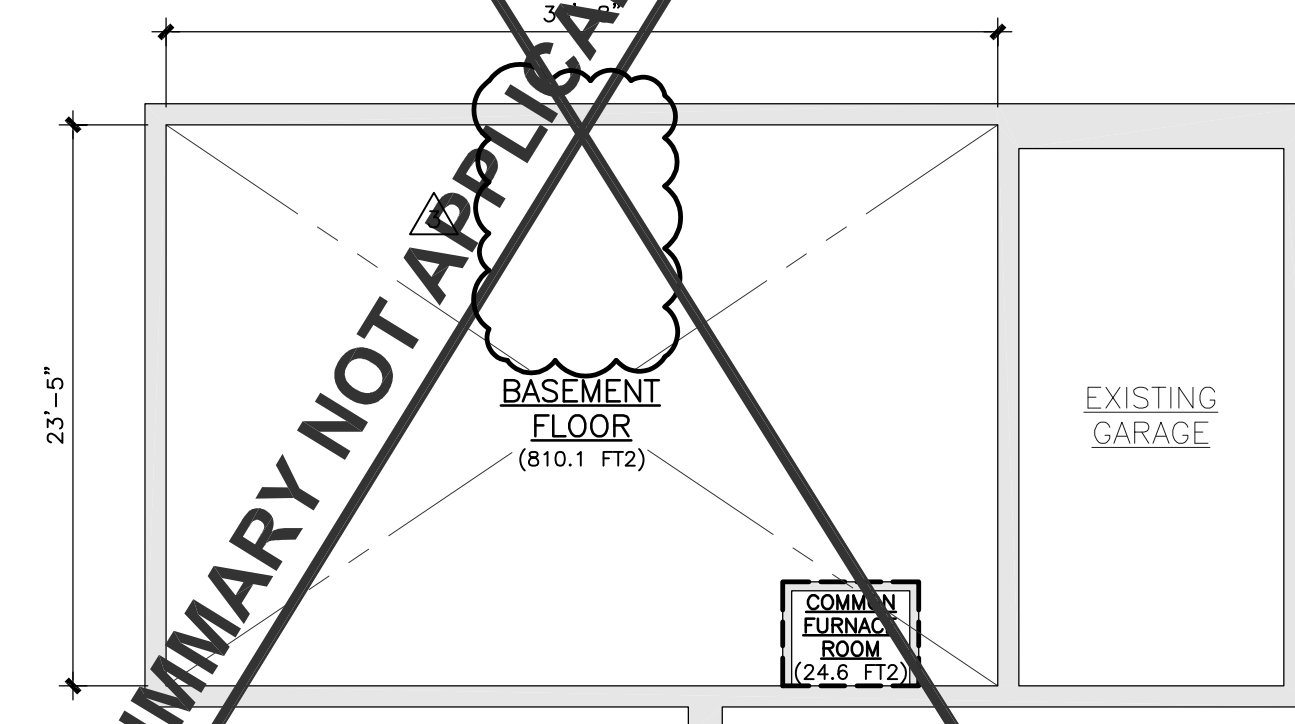
EXISTING SITE PLAN (NO CHANGES TO SITE AS PART OF NEW BASEMENT UNIT)
SCALE: 1/16" = 1'-0"

SITE PLAN NOTES

- ▼ MAIN FLOOR UNIT ENTRY
- ▲ BASEMENT UNIT ENTRY
- ZONING R.1B
- BASED ON CITY OF GUELPH GIS MAP



MAIN FLOOR OVERALL FLOOR PLAN - SHOWING OVERALL AREA FOR G.F.A. SUMMARY
SCALE: 1/8" = 1'-0"



BASEMENT OVERALL FLOOR PLAN - SHOWING OVERALL AREA FOR G.F.A. SUMMARY
SCALE: 1/8" = 1'-0"

| FLOOR AREA SUMMARY | |
|-------------------------------------|---|
| GROUND FLOOR AREA: | 971.8 FT2 |
| BASEMENT FLOOR AREA: | 810.1 FT2 |
| | 1781.9 FT2 (GROSS FLOOR AREA) |
| COMMON ROOMS AREA: | 24.6 |
| BASEMENT UNIT FLOOR AREA: | 810.1 - 24.6 = 785.5 FT2 |
| BASEMENT UNIT PERCENTAGE OF G.F.A.: | 785.5 / 1781.9 x 100% = 44% (LESS THAN 45%) |

| No. | Revision/Issue | Date |
|-----|---|------------|
| 3 | CONVERT TO DUPLEX - DELETE INTERNAL STAIR | 05 06 2023 |
| 2 | ADDED EXISTING SITE PLAN | 01 31 2023 |
| 1 | BUILDING PERMIT | 01 26 2023 |

OWNER:
SAMUAL ZAJDLIK

Project:
NEW BASEMENT ACCESSORY UNIT
83 BAGOT STREET
GUELPH, ON N1H 5T7

Drawing Title:
GFA SUMMARY PLANS AND EXISTING SITE PLAN

Date: NOVEMBER 2022
Scale: AS NOTED

Sheet
2