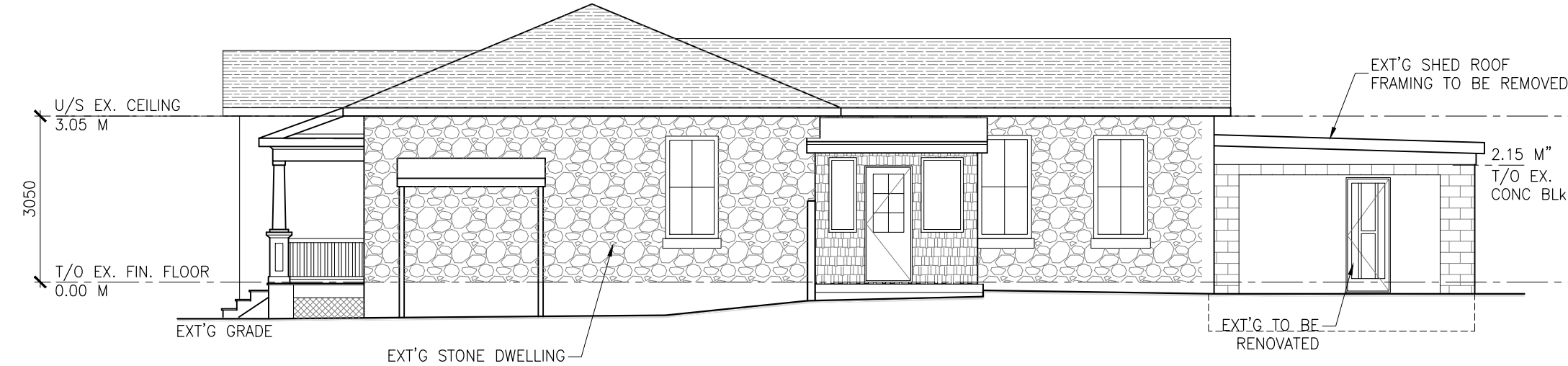
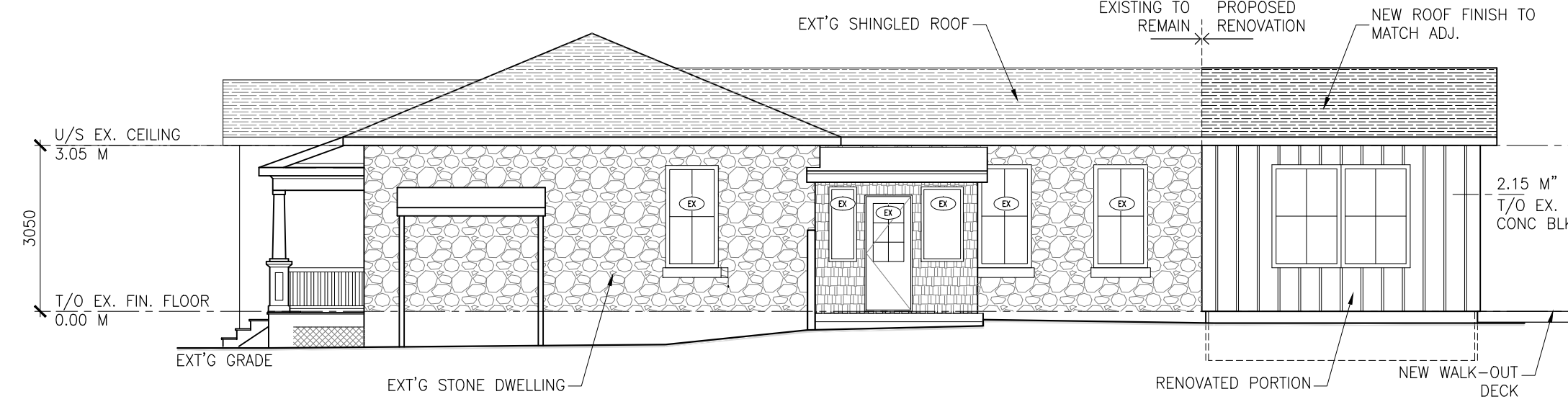


ZONING CHART					
REGULATIONS	REQ'D / PERMITTED ZONING PLAN 1995	REQ'D / PERMITTED ZONING BYLAW 2023	EXISTING	PROPOSED	CONFORMS
ZONING	R1.B	R1.B	R1.B	R1.B	Y
USE PERMITTED	DETACHED DWELLING	LOW DENSITY RESIDENTIAL	DETACHED DWELLING	DETACHED DWELLING	Y
MINIMUM LOT AREA	460 M2	460 M2	959.6 M2	959.6 M2	Y
MINIMUM LOT FRONTAGE	15 M	15 M	16.176 M	16.176 M	Y
MIN. FRONT YARD SETBACK	6 M	6 M	6.16 M	6.16 M	Y
MIN. EXTERIOR SIDE YARD SETBACK	4.5 M	4.5 M	N/A	N/A	N/A
MIN. INTERIOR SIDE YARD SETBACK - WEST	1.5 M	1.5 M	1.00 M	0.85 M	VARIANCE REQ'D
MIN. INTERIOR SIDE YARD SETBACK - EAST	1.5 M	1.5 M	4.90 M	4.90 M	Y
MIN. REAR YARD SETBACK	7.5 M OR 20% LOT DEPTH	7.5 M OR 20% LOT DEPTH	30.29 M	30.29 M	Y
MAX. BUILDING HEIGHT	3 STOREYS	3 STOREYS	1 STOREY	1 STOREY	Y

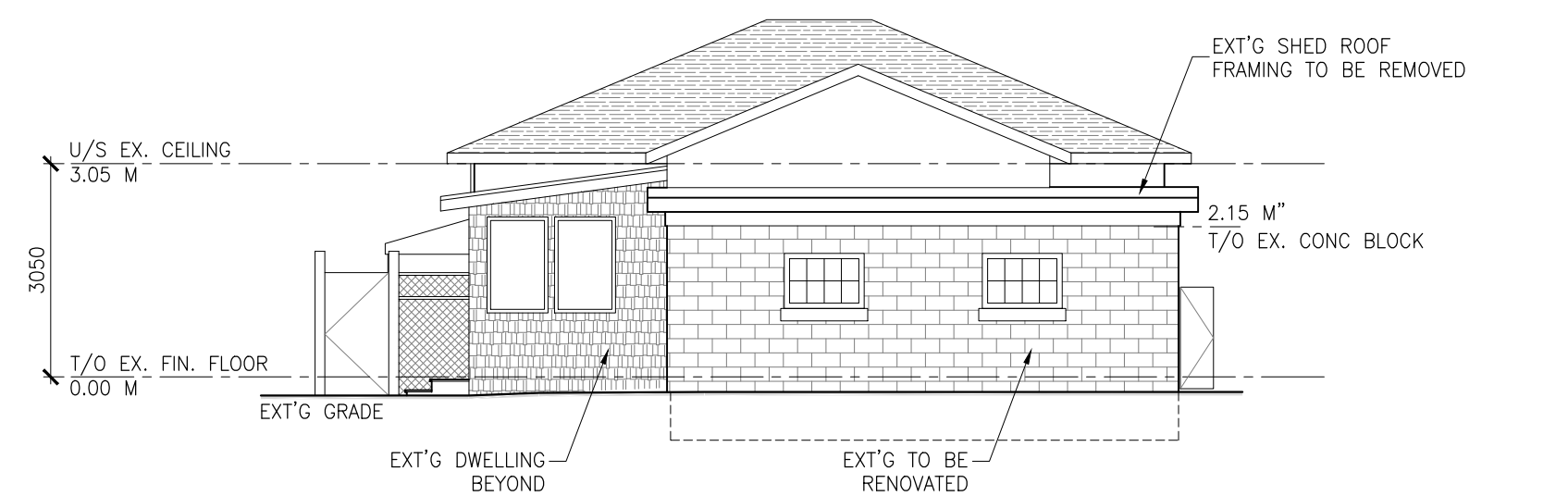
ZONING CHART
N.T.S. (1) SP-01



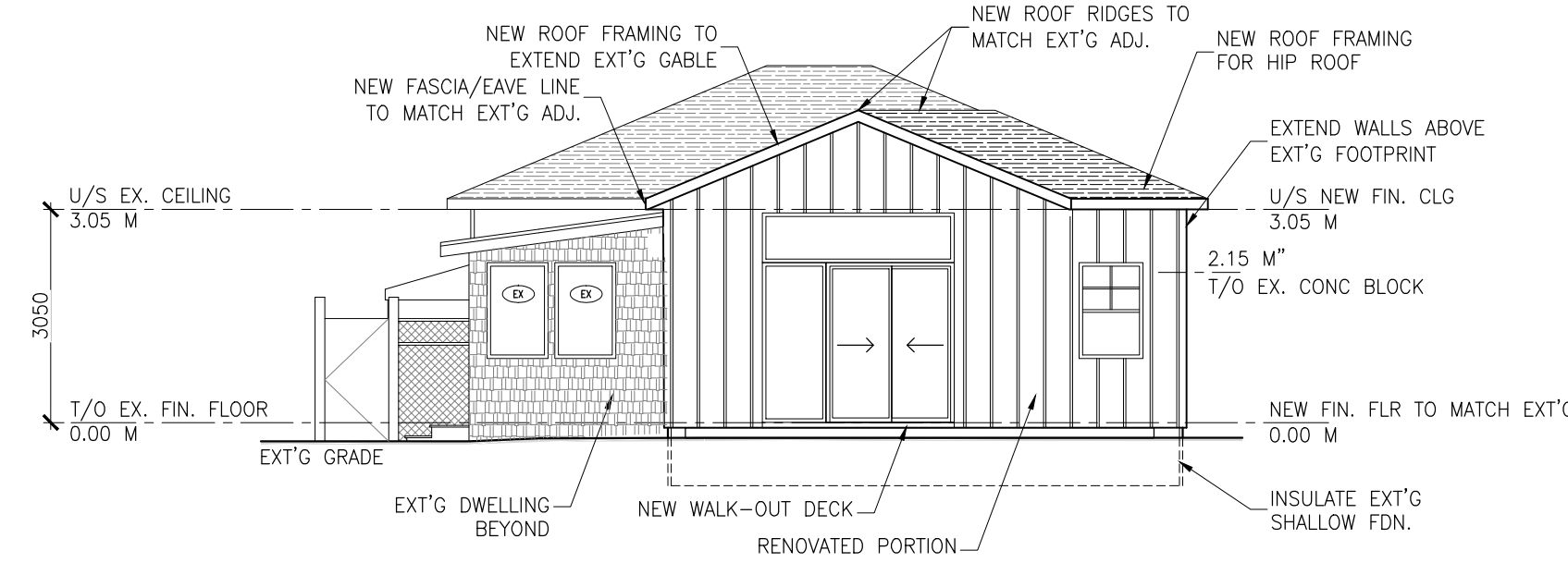
EXISTING EAST ELEVATION
1:100 (3) SP-01



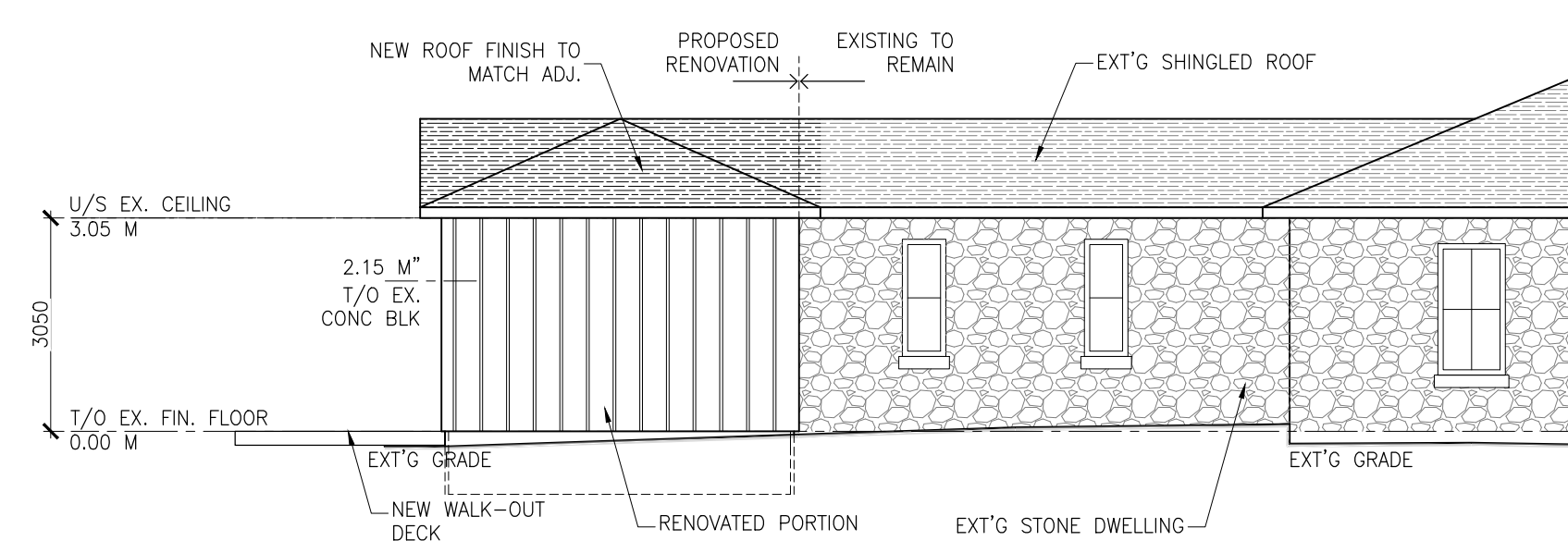
PROPOSED EAST ELEVATION
1:100 (4) SP-01



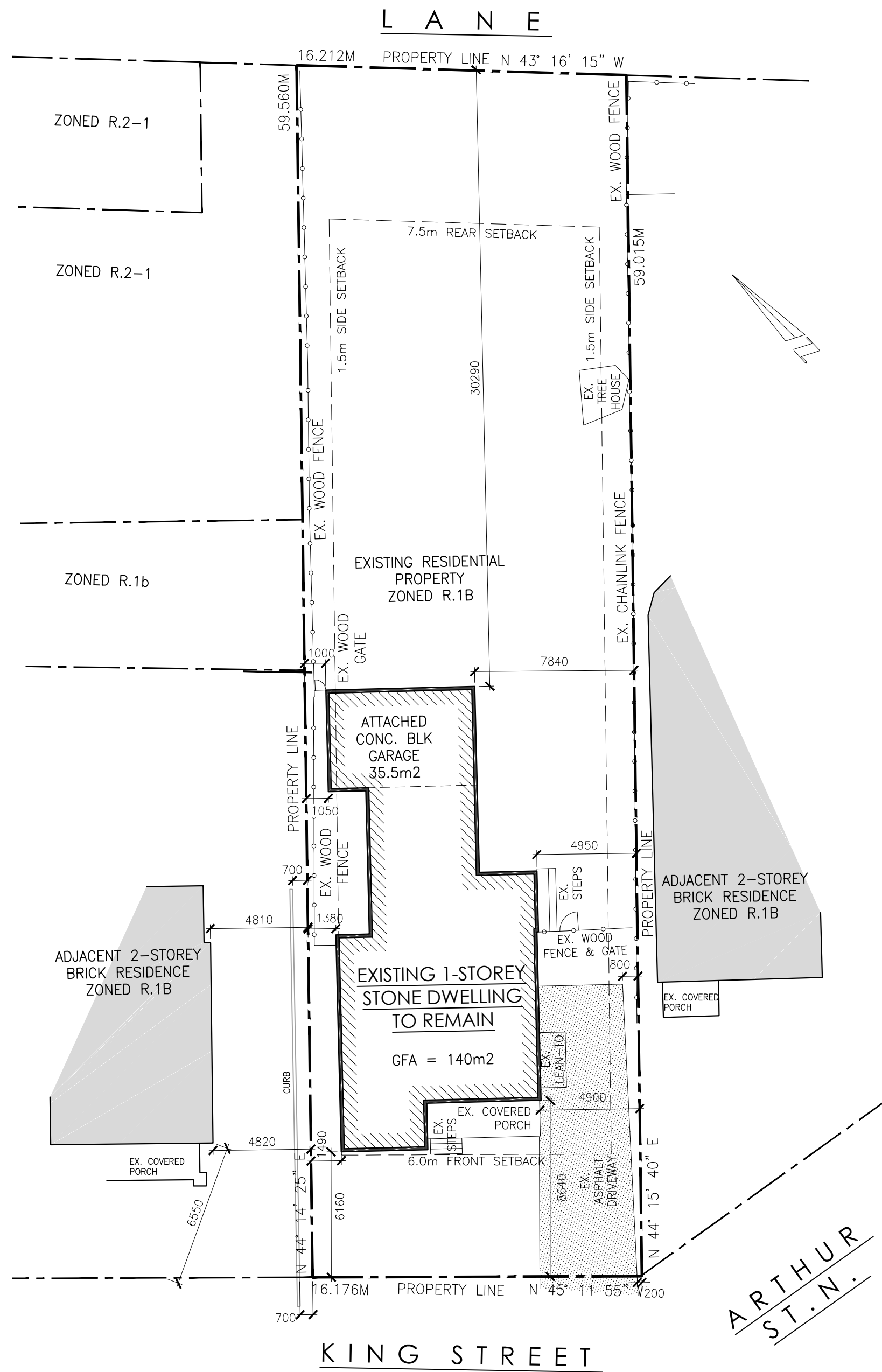
EXISTING NORTH ELEVATION
1:100 (5) SP-01



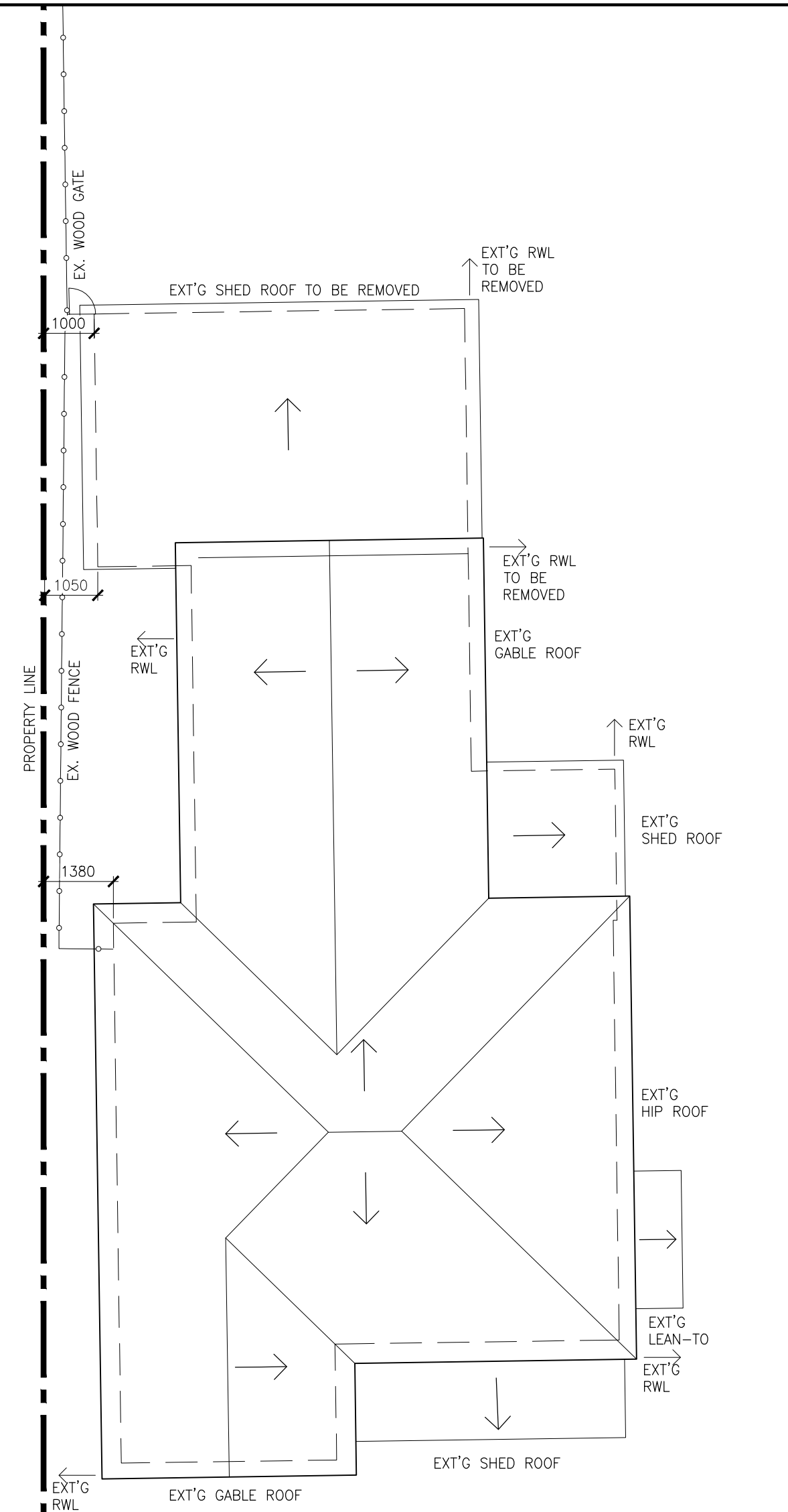
PROPOSED NORTH ELEVATION
1:100 (6) SP-01



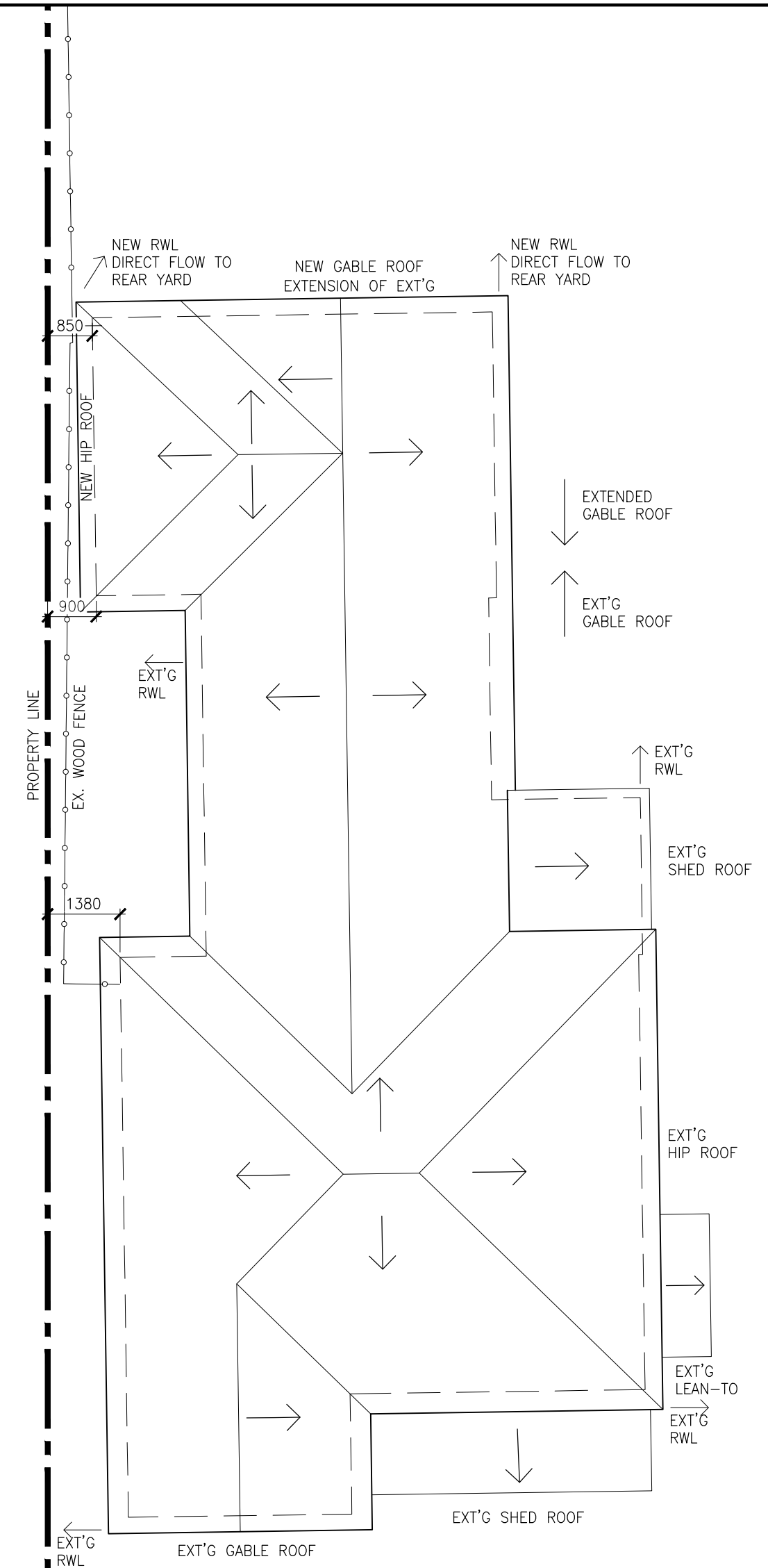
PROPOSED PARTIAL WEST ELEVATION
1:100 (7) SP-01



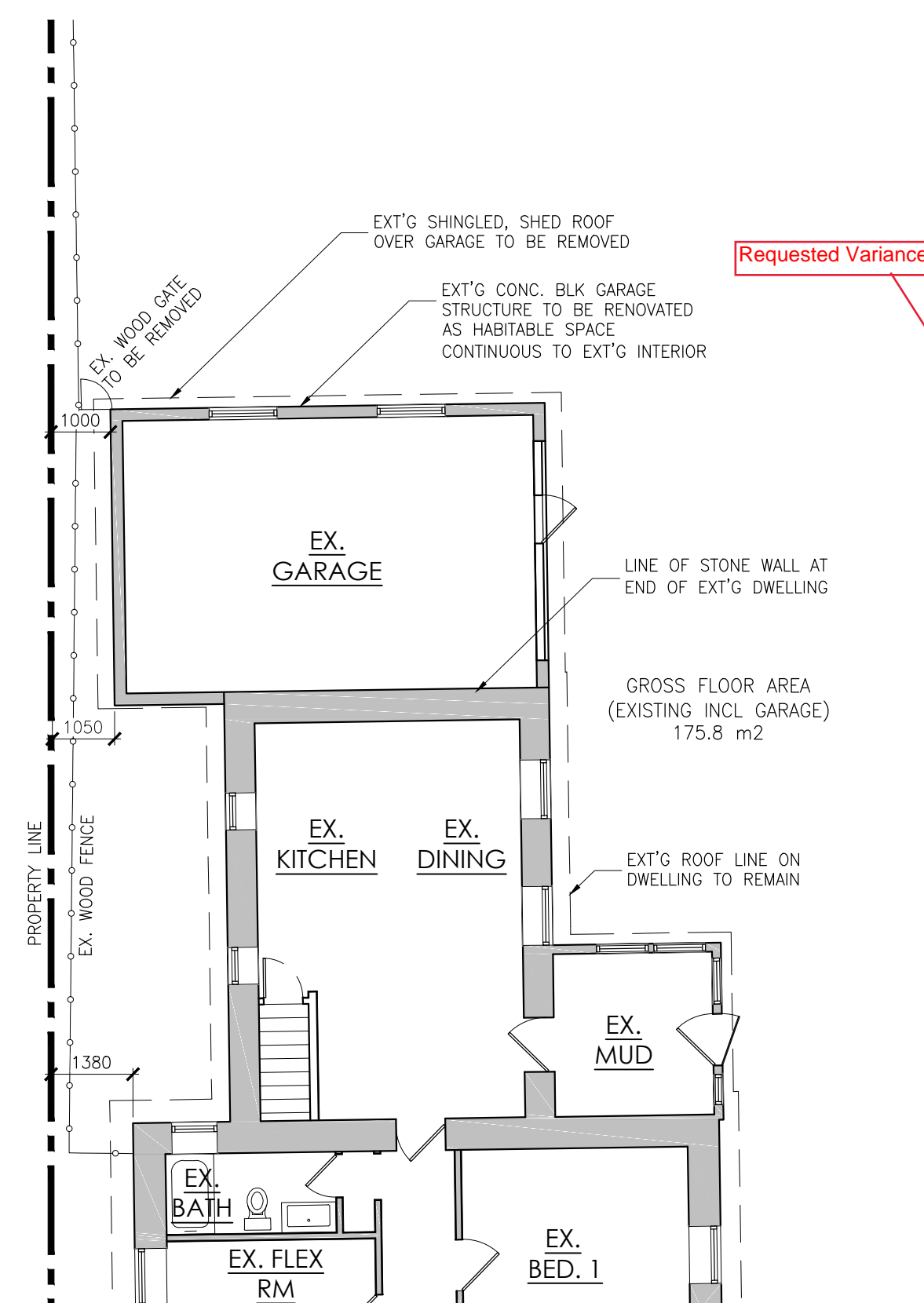
EXISTING SITE PLAN
1:200 (2) SP-01



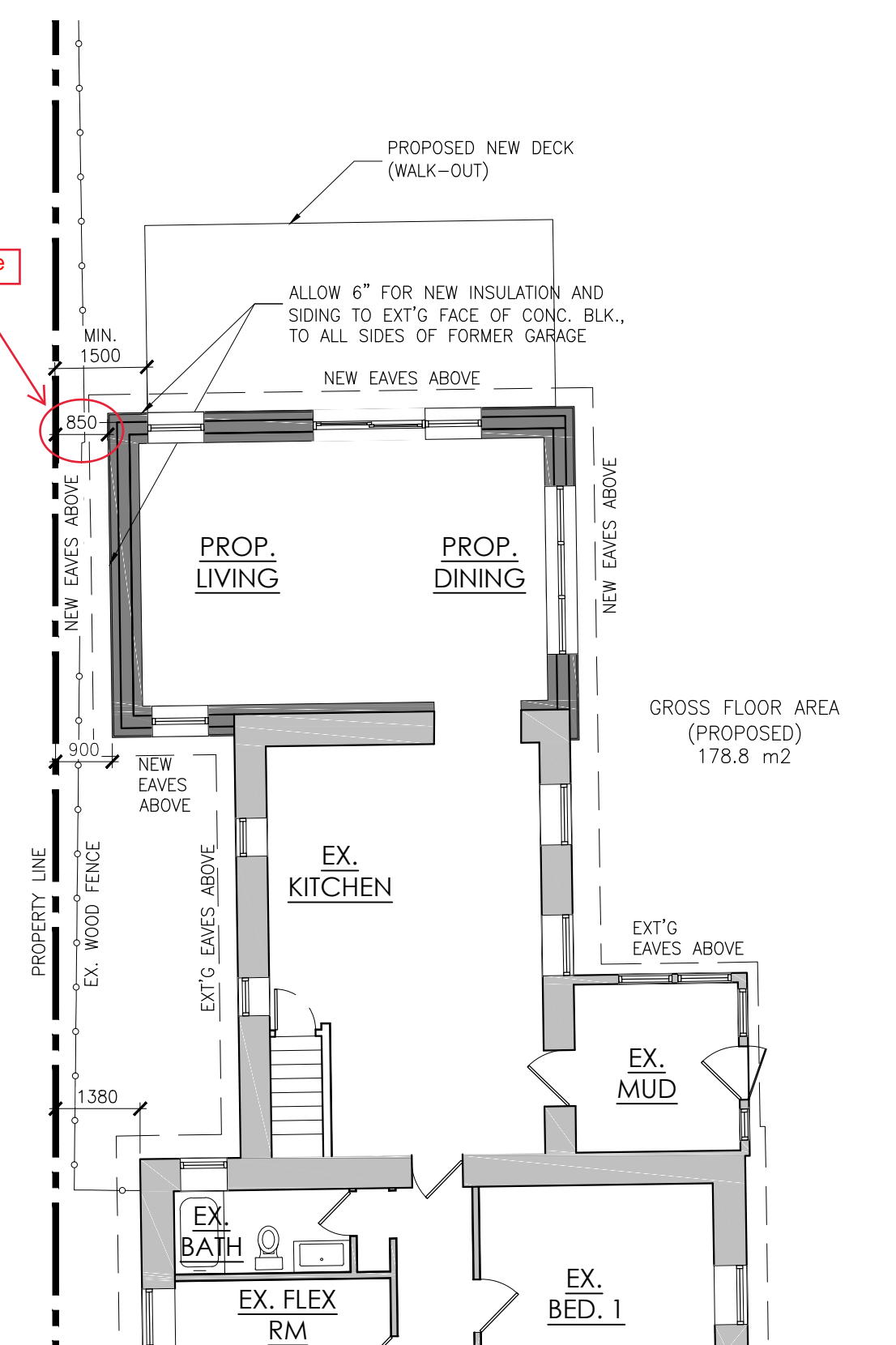
EXISTING ROOF PLAN
1:100 (8) SP-01



PROPOSED ROOF PLAN
1:100 (9) SP-01



EXISTING PARTIAL PLAN
1:100 (10) SP-01

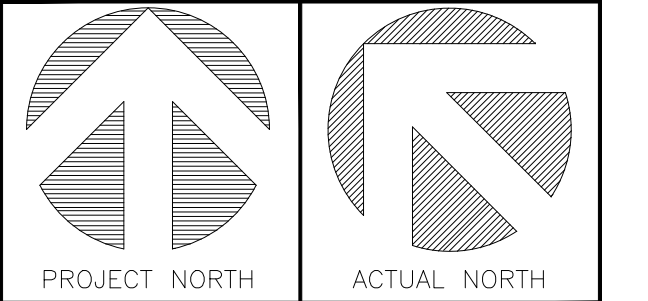


PROPOSED PARTIAL PLAN
1:100 (11) SP-01

PIN 71335-0022 (LT)
LOT 33, REGISTERED PLAN 32
CITY OF GUELPH
COUNTY OF WELLINGTON
PROPERTY INFORMATION TAKEN FROM REFERENCE SURVEY
DATED FEB 17, 2021, ISSUED BY VAN HARTEN SURVEYING



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CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE ARCHITECT AS INSTRUMENTS OF HIS SERVICE AND MUST BE RETURNED AT HIS REQUEST.

DO NOT SCALE DRAWINGS.

NO.	DATE	REVISIONS
01	29-JUN-2023	ISSUED FOR MINOR VARIANCE APPL

BARTRAM / MCGOWAN GARAGE RENOVATION
3 KING ST.
GUELPH, ON

SITE PLAN & DETAILS

DATE: 29-May-2023 SCALE: AS NOTED
DRAWN BY: CP-
CHECKED BY: LAG
STATUS: SCHEMATIC
JOB NO: 2308
FILE: 3 KING ST
FOLDER: WORKING

SP-01