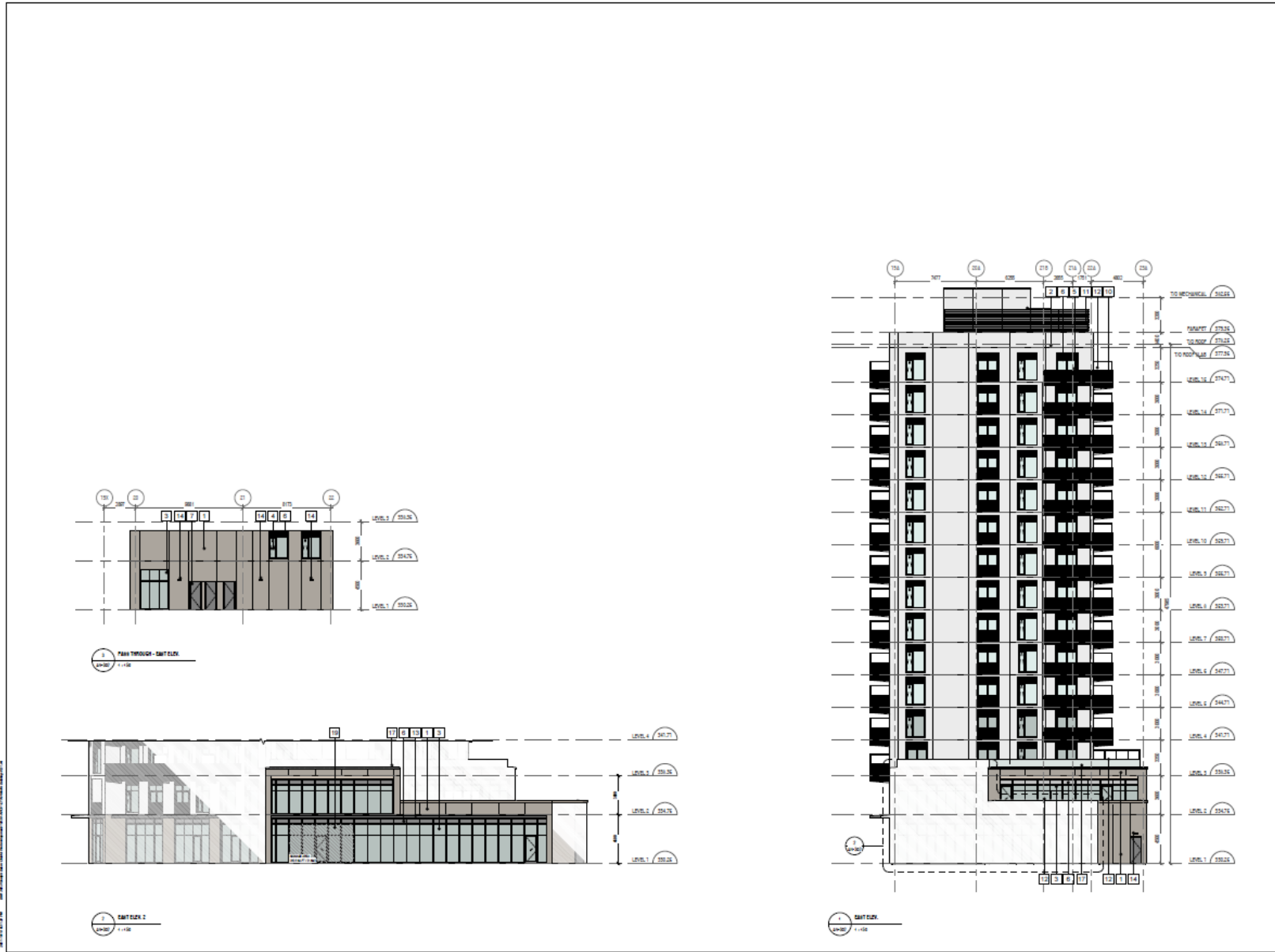


Attachment-10 Proposed Building Renderings and Elevations

North Tower Rendering – 55 Baker Street, 152 and 160 Wyndham Street North:



North Tower East Elevations – 55 Baker Street, 152 and 160 Wyndham Street North:



GENERAL NOTES

- FINISH LEGEND**
- 11 PRECAST CLADDING - BRANDED STAINLESS STEEL FINISH, BRUSH FINISH, BRUSH COLOUR, BRUSH COLOUR, WHITE COLOUR
 - 12 PRECAST CLADDING - SMOOTH FINISH, WHITE COLOUR
 - 13 ALUMINUM CLADDING WALL, WITH INSULATED SPANDREL, BRUSH COLOUR
 - 14 ALUMINUM FINISHED WINDOW, DARK GOLD COLOUR
 - 15 ALUMINUM PATIO DOOR, DARK GOLD COLOUR
 - 16 LOWER DARK GOLD COLOUR
 - 17 INSULATED HOLLOW METAL DOOR
 - 18 PRECAST CONCRETE ALL OR COPING
 - 19 PREFINISHED METAL FLASHING PROFILE
 - 20 PREFINISHED METAL POCKET BALCONY GUARD
 - 21 PREFINISHED METAL SCREENING
 - 22 ALUMINUM GLAZED PRIVACY SCREEN
 - 23 STEEL FRAMED EXTENSION CANOPY
 - 24 WALL MOUNTED LIGHT
 - 25 GENERATOR RETELLING STATION
 - 26 WALL MOUNTED SANITARY SIGNAL
 - 27 COATED TEMPERED GLASS GUARD RAIL
 - 28 FIRE DEPARTMENT CONNECTION
 - 29 RETAIL SIGNAGE ZONE
 - 30 LUXURION SIGNAGE ZONE
 - 31 CHAGED ROOF ACCESS LADDER

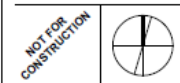
NOTE:
 TINTED GLASS LIFT 12" FROM GRADE, AS PER CRIMP REQUIREMENTS FOR BIRD FRIENDLY GLAZING DESIGN.

NO.	DATE	DESCRIPTION

ISSUE RECORDED

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON AN AS BUILT BASIS. DIMENSIONS SHALL BE THE ARCHITECT'S INTENTIONS. IN THE EVENT OF A DISCREPANCY OR CONFLICT BETWEEN THE DRAWINGS AND THE AS BUILT CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE AS BUILT CONDITIONS.

ALL DIMENSIONS SPECIFICATIONS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE KEPT IN THE ARCHITECT'S OFFICE. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



BAKER DISTRICT REDEVELOPMENT

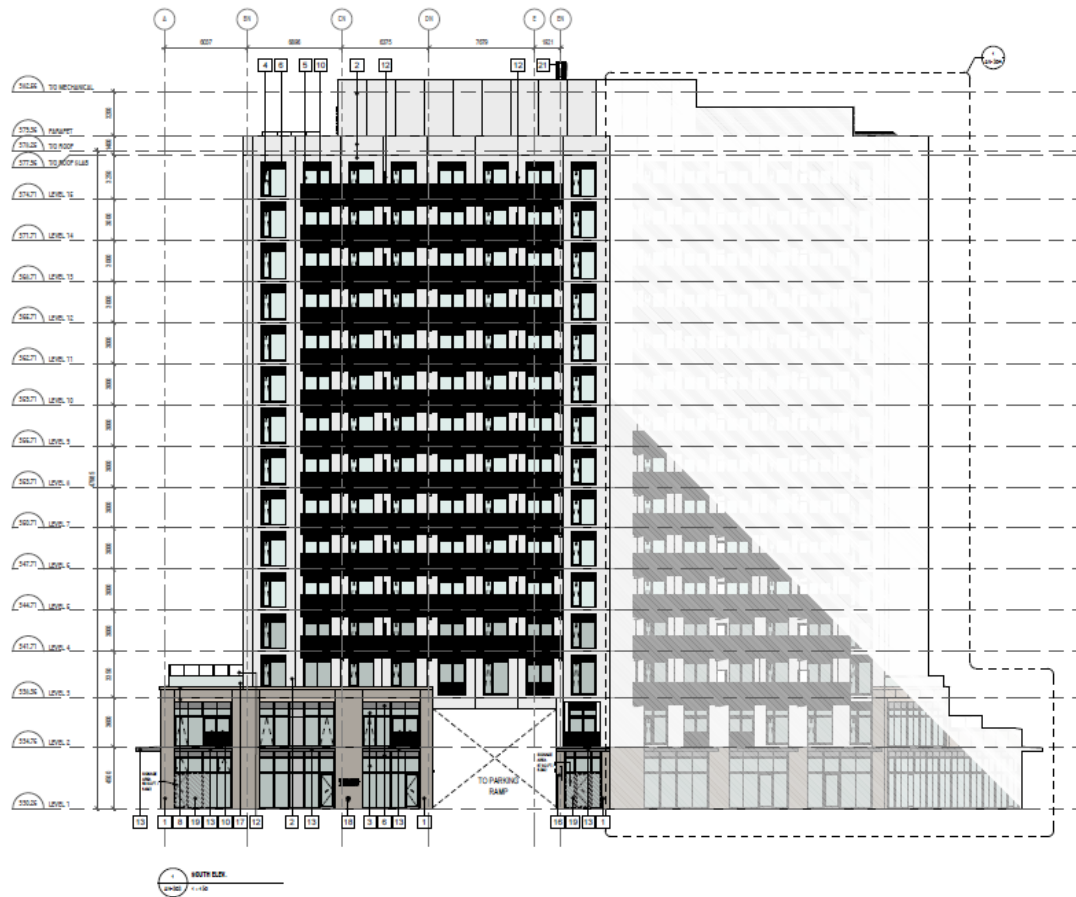
55 BAKER STREET
 PART SURVIVING GROUND, PLAN 8; PART LANE THROUGH SURVIVING GROUND, PLAN 8, CLOSED BY MICHIGAN, AS IN MICHIGAN, MICHIGAN, CLOSED BY INTEREST OF AIR, IN COSEDA; PART SURVIVING GROUND, PLAN 8 AND IN COSEDA, CITY OF GUELPH.

150 WYNDHAM STREET NORTH & 152 WYNDHAM STREET NORTH
 PART LOTS 73 AND 74, PART OF SURVIVING GROUND AND PART OF LANE AT THE REAR OF LOTS 73 AND 74 AREA PARCELS, CLOSED BY COSEDA, REGISTERED PLAN 8, DESIGNATED AS PARTS 1, 2, 3 AND 4, REFERENCE PLAN 819-2-1615, SUBJECT TO EASEMENT OVER PART 2, 819-2-1615 AS IN INSTRUMENT FOOTING, CITY OF GUELPH.

SITE PLAN FILE #
 DRAWING TITLE:
 NORTH TOWER - EAST ELEVATIONS

PRINT DATE: 2024-10-18
 SCALE: As Indicated
 PROJECT NO: 1820
 DRAWN BY: Author
 CHECKED BY: Checker **AN-302**

North Tower South Elevations – 55 Baker Street, 152 and 160 Wyndham Street North:



GENERAL NOTES

- FINISH LEGEND**
- 1 PRECAST CLADDING - BRICKWORK: ST MATED FINISH, BRICK FINISHING BAND COLOURING, BUFF COLOUR
 - 2 PRECAST CLADDING - SMOOTH FINISH, WHITE COLOUR
 - 3 ALUMINIUM CLIP PANEL WALL, WITH INSULATED SHIMMER, ANODE PROTECTED
 - 4 ALUMINIUM FINISHED WINDOW, DARK GOLD COLOUR
 - 5 ALUMINIUM PATIO DOOR, DARK GOLD COLOUR
 - 6 LOWER DARK GOLD COLOUR
 - 7 INSULATED HOLLOW METAL DOOR
 - 8 PRECAST CONCRETE GILL OR COPING
 - 9 PREPARED METAL FLASHING PROFILE
 - 10 PREPARED METAL POCKET BALCONY GUARD
 - 11 PREPARED METAL SCREENING
 - 12 ALUMINIUM GLAZED PRIVACY SCREEN
 - 13 STEEL-FRAMED ENTRANCE CANOPY
 - 14 WALL MOUNTED LIGHT
 - 15 GENERATOR REFUELLING STATION
 - 16 WALL MOUNTED EXTERIOR RETAIL SIGNAGE
 - 17 CAPED TEMPERED GLASS GUARD RAIL
 - 18 FIRE DEPARTMENT CONNECTION
 - 19 RETAIL SIGNAGE ZONE
 - 20 LUXURIOS SIGNAGE ZONE
 - 21 CAGED ROOF ACCESS LADDER

NOTE
 FINISHED GLASS LIFT 12 M FROM GRADE, AS PER
 CRIMP REQUIREMENTS FOR SPIC FRIENDLY
 GLAZING DESIGN

ISSUE NO.	DATE	DESCRIPTION

ISSUE RECORDED

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR OMISSIONS AND NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED BY THE LANDSCAPE ARCHITECT

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DTAH Architects Limited

NOT FOR CONSTRUCTION

BAKER DISTRICT REDEVELOPMENT

55 BAKER STREET
 PART SURVIVING GROUND, PLAN 8; PART LANE THROUGH SURVIVING GROUND, PLAN 8, CLOSED BY MEANS OF AN INSTRUMENTED ROOSTING; PART INTEREST IF ANY, IN C88221; PART SURVIVING GROUND, PLAN 8 AS IN C88221; CITY OF GUELPH

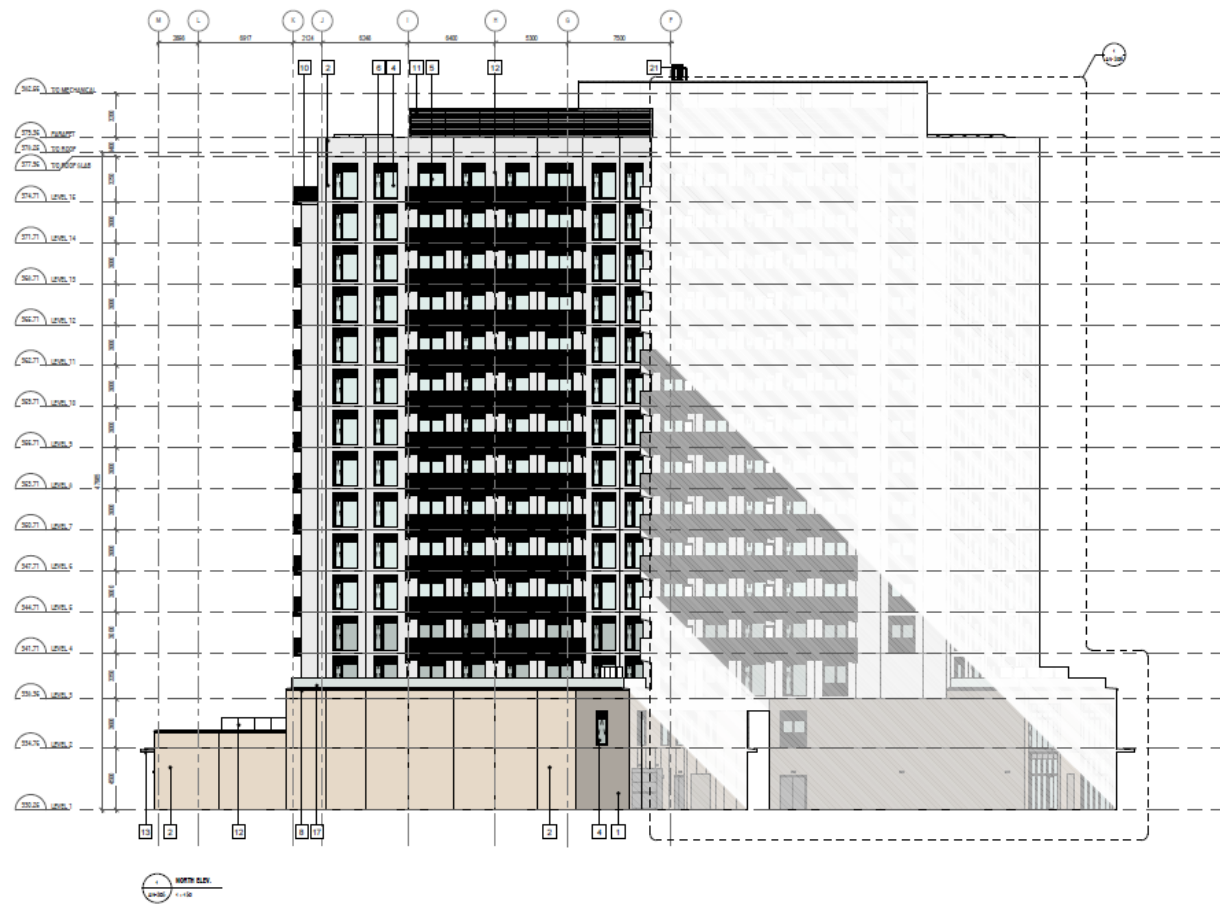
160 WYNDHAM STREET NORTH & 152 WYNDHAM STREET NORTH
 PART LOTS 73 AND 74, PART OF SURVIVING GROUND AND PART OF LANE AT THE REAR OF LOTS 73 AND 74, AREA PARCELED, CLOSED BY C88128, REGISTERED PLAN 8, DESIGNATED AS PARTS 1, 2, 3 AND 4, REGISTERED PLAN 818-21616 SUBJECT TO EASEMENT OVER PART 2, 818-21616 AS IN INSTRUMENTED ROOSTING AND SUBJECT TO EASEMENT OVER PART 3, 818-21616 AS IN INSTRUMENTED ROOSTING; CITY OF GUELPH

SITE PLAN FILE #

DRAWING TITLE:
 NORTH TOWER - SOUTH ELEVATIONS

PRINT DATE: 2024-10-18
SCALE: As Indicated
PROJECT NO.: 1830
DRAWN BY: Adam
CHECKED BY: Chester **AN-303**

North Tower North Elevations – 55 Baker Street, 152 and 160 Wyndham Street North:



GENERAL NOTES

- MATERIAL LEGEND**
- 11 PRODUCT CLADDING - WOODNEY FINISHED FINISH, BROWN FINISH AND COLOUR, BUFF COLOUR
 - 12 PRODUCT CLADDING - SMOOTH FINISH, WHITE COLOUR
 - 13 ALUMINIUM CLUTTER WALL, WITH INSULATED SPANDEK, WHITE INSULATED
 - 14 ALUMINIUM FINISHED WINDOW, DARK GOLD COLOUR
 - 15 ALUMINIUM PATIO DOOR, DARK GOLD COLOUR
 - 16 LOUVER, DARK GOLD COLOUR
 - 17 INSULATED HOLLOW METAL DOOR
 - 18 PRECAST CONCRETE SILL OR COPING
 - 19 PREFINISHED METAL FLASHING PROFILE
 - 20 PREFINISHED METAL POINT BALCONY GUARD
 - 21 PREFINISHED METAL SCREENING
 - 22 ALUMINIUM GLAZED PRIVACY SCREEN
 - 23 STEEL-FRAMED ENTRANCE CANOPY
 - 24 WALL MOUNTED LIGHT
 - 25 GENERATOR REFUELLING STATION
 - 26 WALL MOUNTED SANITARY RETAIL SIGNAGE
 - 27 CARVED TEMPLATED GLASS GUARD RAIL
 - 28 FIRE DEPARTMENT CONNECTION
 - 29 RETAIL SIGNAGE ZONE
 - 30 LIFTWAY SIGNAGE ZONE
 - 31 CHASED ROOF ACCESS LADDER

NOTE:
 TINTED GLASS UP TO 12" FROM GRADE AS PER CPAP REQUIREMENTS FOR BRQ FRIENDLY GLAZING DESIGN.

NO.	DATE	DESCRIPTION

ISSUE RECORDED

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR OMISSION FROM THE DRAWINGS. DO NOT HOLD THE DRAWINGS.

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DTAI Architects Limited

NOT FOR CONSTRUCTION

BAKER DISTRICT REDEVELOPMENT

55 BAKER STREET
 PART SURVIVING GROUND, PLAN B; PART LANE THROUGH SURVIVING GROUND, PLAN B, CLOSED BY MESSAGES, AS IN SECTIONAL MESSAGES, CLOSED BY; ST INTEREST IF ANY; IN C55221; PART SURVIVING GROUND, PLAN B AS IN C55216; CITY OF GUELPH.

152 WYNDHAM STREET NORTH & 160 WYNDHAM STREET NORTH
 PART LOTS 73 AND 74, PART OF SURVIVING GROUND AND PART OF LANE AT THE REAR OF LOTS 73 AND 74 AND PARKLAND, CLOSED BY C63126, REGISTERED PLAN B, DESIGNATED AS PARTS 1, 2, 3 AND 4; REFERENCE PLAN B19-21815, SUBJECT TO EASEMENT OVER PART 2, B19-21815 AS IN INSTRUMENT B192706 AND SUBJECT TO EASEMENT OVER PART 3, B19-21815 AS IN INSTRUMENT B192706, CITY OF GUELPH.

SITE PLAN FILE #

DRAWING TITLE
 NORTH TOWER - NORTH ELEVATIONS

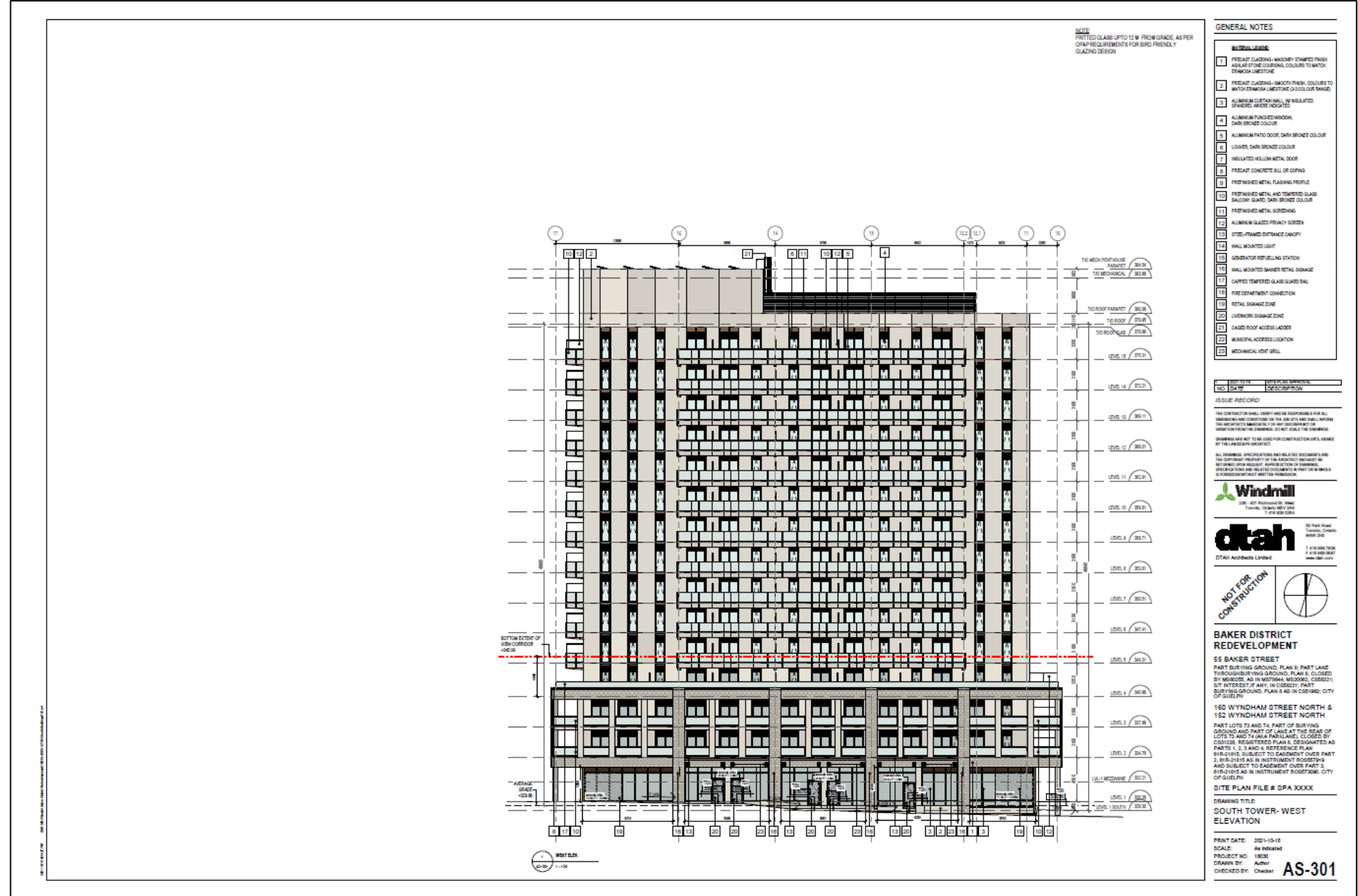
PRINT DATE: 2021-10-18
SCALE: As Indicated
PROJECT NO.: 1803
DRAWN BY: Aulup
CHECKED BY: Cheater

AN-305

South Tower Rendering – 55 Baker Street, 152 and 160 Wyndham Street North:



South Tower West Elevations – 55 Baker Street, 152 and 160 Wyndham Street North:



NOTE
 PRINTED GLASS UP TO 13 M FROM GRADE AS PER
 CPAP REQUIREMENTS FOR BIRD FRIENDLY
 GLAZING DESIGN

GENERAL NOTES

- MATERIAL LEGEND**
- 1. PRECAST CLADDING - BRICKY FINISH STAMPED FINISH AS BLANK STONE COURSING COLOURS TO MATCH STAMPA LIMESTONE
 - 2. PRECAST CLADDING - BRICKY FINISH COLOURS TO MATCH STAMPA LIMESTONE (2-COLOUR RANGE)
 - 3. ALUMINUM CURTAIN WALL - INSULATED FINISHED WHITE RIBBON
 - 4. ALUMINUM FINISHED WINDOW - DARK BRONZE COLOUR
 - 5. ALUMINUM PATIO DOOR - DARK BRONZE COLOUR
 - 6. LOWER DARK BRONZE COLOUR
 - 7. INSULATED HOLLOW METAL DOOR
 - 8. PRECAST CONCRETE SILL OR COILING
 - 9. PREFINISHED METAL FLASHING PROFILE
 - 10. PREFINISHED METAL AND TEMPERED GLASS BALCONY GUARD - DARK BRONZE COLOUR
 - 11. PREFINISHED METAL SCREENING
 - 12. ALUMINUM GLASS PRIVACY SCREEN
 - 13. STEEL-FRAMED DISTANCE CANOPY
 - 14. WALL MOUNTED LIGHT
 - 15. LUMINOUS REPELLING STATION
 - 16. WALL MOUNTED SHOWER RETAIL SIGNAGE
 - 17. CARVED TEMPLATED GLASS GUARD RAIL
 - 18. FIRE DEPARTMENT CONNECTION
 - 19. RETAIL SIGNAGE ZONE
 - 20. LUMINOUS SIGNAGE ZONE
 - 21. LAZED ROOF ACCESS LADDER
 - 22. MECHANICAL ACCESS LOCATION
 - 23. MECHANICAL VENT GRILL

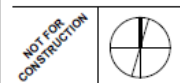
NO.	DATE	DESCRIPTION
ISSUE RECORD		

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY VARIATION FROM THE DRAWINGS. DO NOT SCALE THE DRAWINGS. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION AND ARE BASED ON THE ARCHITECT'S ARCHITECTURE.

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BAKER DISTRICT REDEVELOPMENT

55 BAKER STREET
 PART SURVIVING GROUND, PLAN 8; PART LAKE THROUGH SURVIVING GROUND, PLAN 8; CLOSED BY MURKISS; AS IN INSTRUMENT NUMBER; CSD/CI; DT INTEREST IF ANY; IN CONSD; PART SURVIVING GROUND, PLAN 8 AS IN CSD/CI; CITY OF GUELPH

160 WYNDHAM STREET NORTH & 152 WYNDHAM STREET NORTH
 PART LOTS 7A AND 7A PART OF SURVIVING GROUND AND PART OF LAKE AT THE REAR OF LOTS 7 AND 7A LAKE PARCEL, CLOSED BY CSD/1298; REGISTERED PLAN 8; DESIGNATED AS PARTS 1, 3, 4 AND 4; REFERENCE PLAN 818-21616; SUBJECT TO EASEMENT OVER PART 2; 818-21616 AS IN INSTRUMENT 80870398 AND SUBJECT TO EASEMENT OVER PART 3; 818-21616 AS IN INSTRUMENT 80870398; CITY OF GUELPH

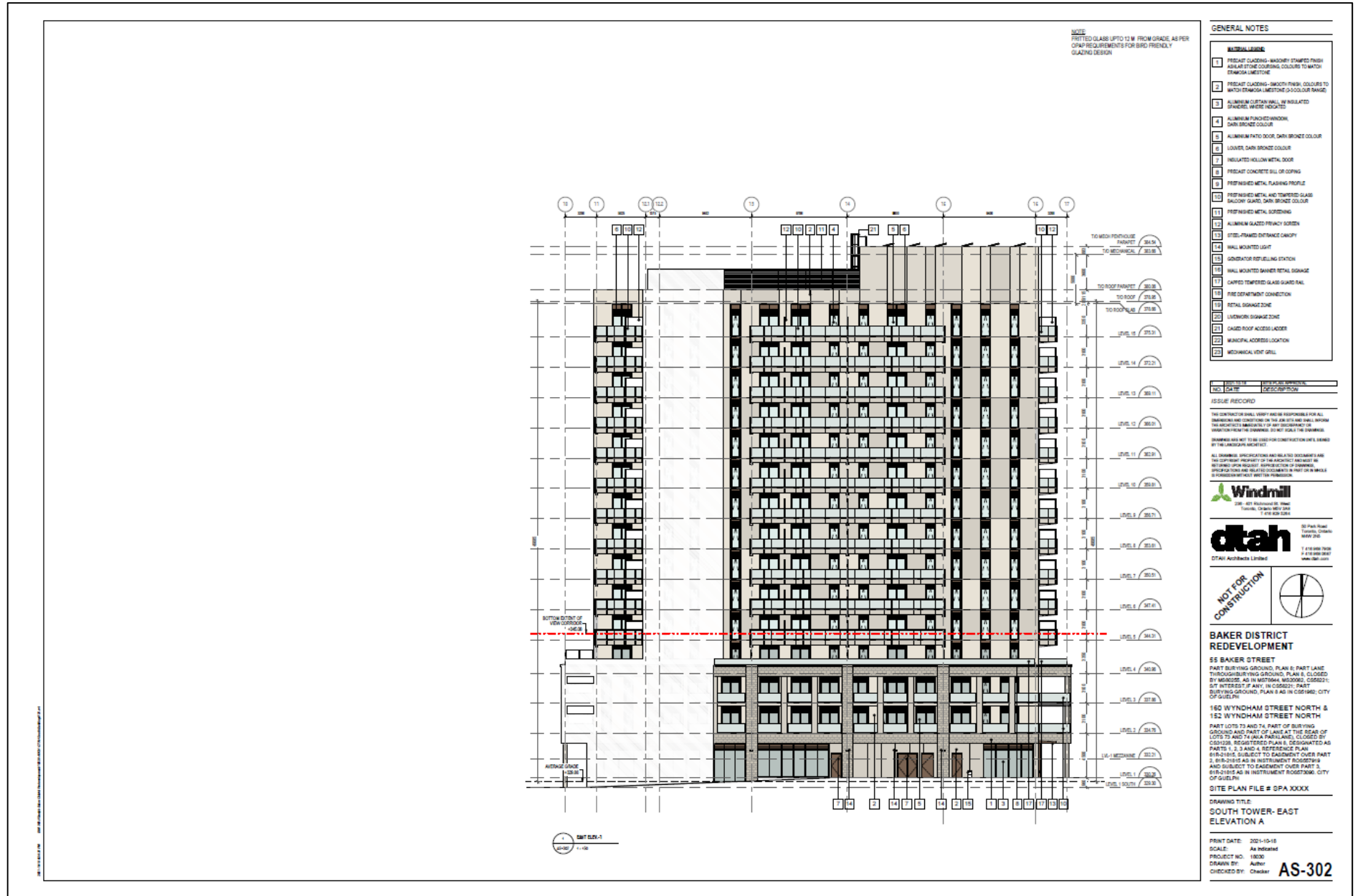
DITE PLAN FILE # SPA XXXX

DRAWING TITLE:
SOUTH TOWER- WEST ELEVATION

PRINT DATE: 2021-10-18
 SCALE: As Indicated
 PROJECT NO: 18030
 DRAWN BY: ALVIN
 CHECKED BY: CHESTER

AS-301

South Tower East Elevations – 55 Baker Street, 152 and 160 Wyndham Street North:



South Tower South and North Elevations – 55 Baker Street, 152 and 160 Wyndham Street North:

