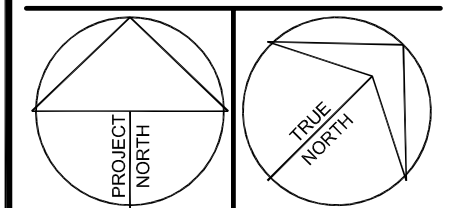
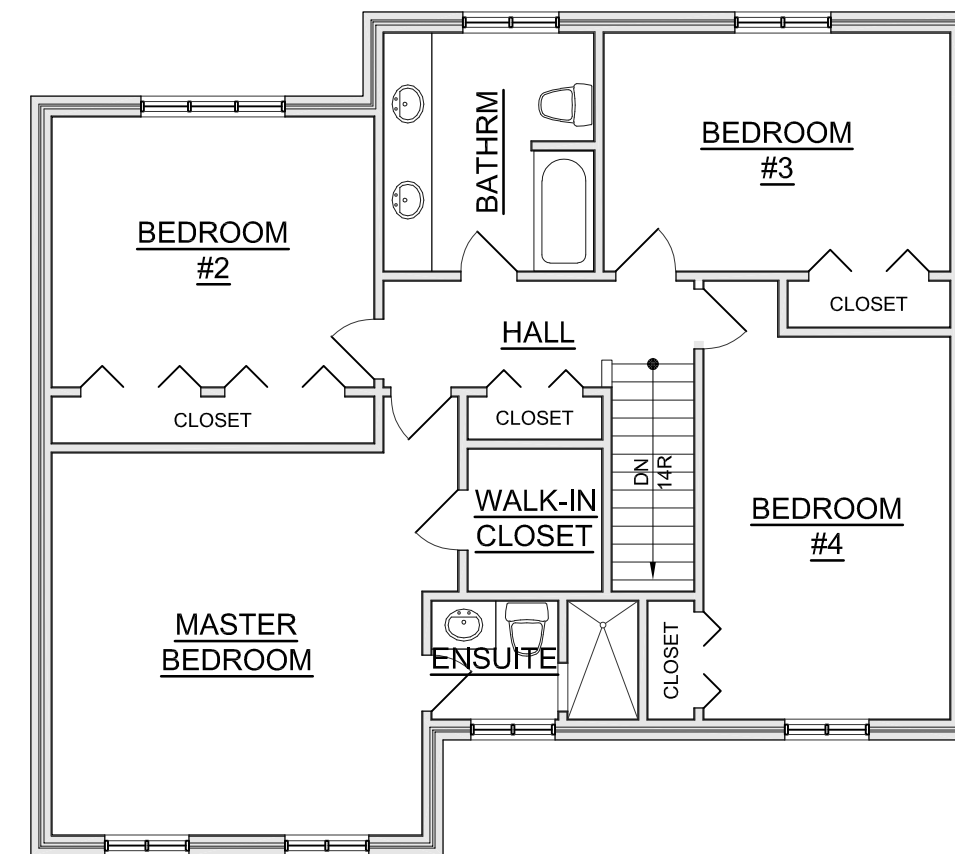


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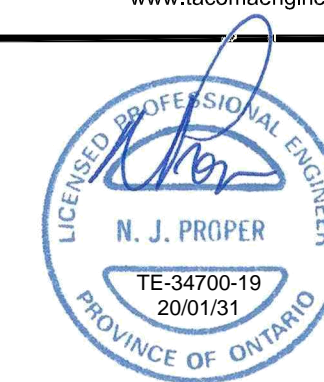
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EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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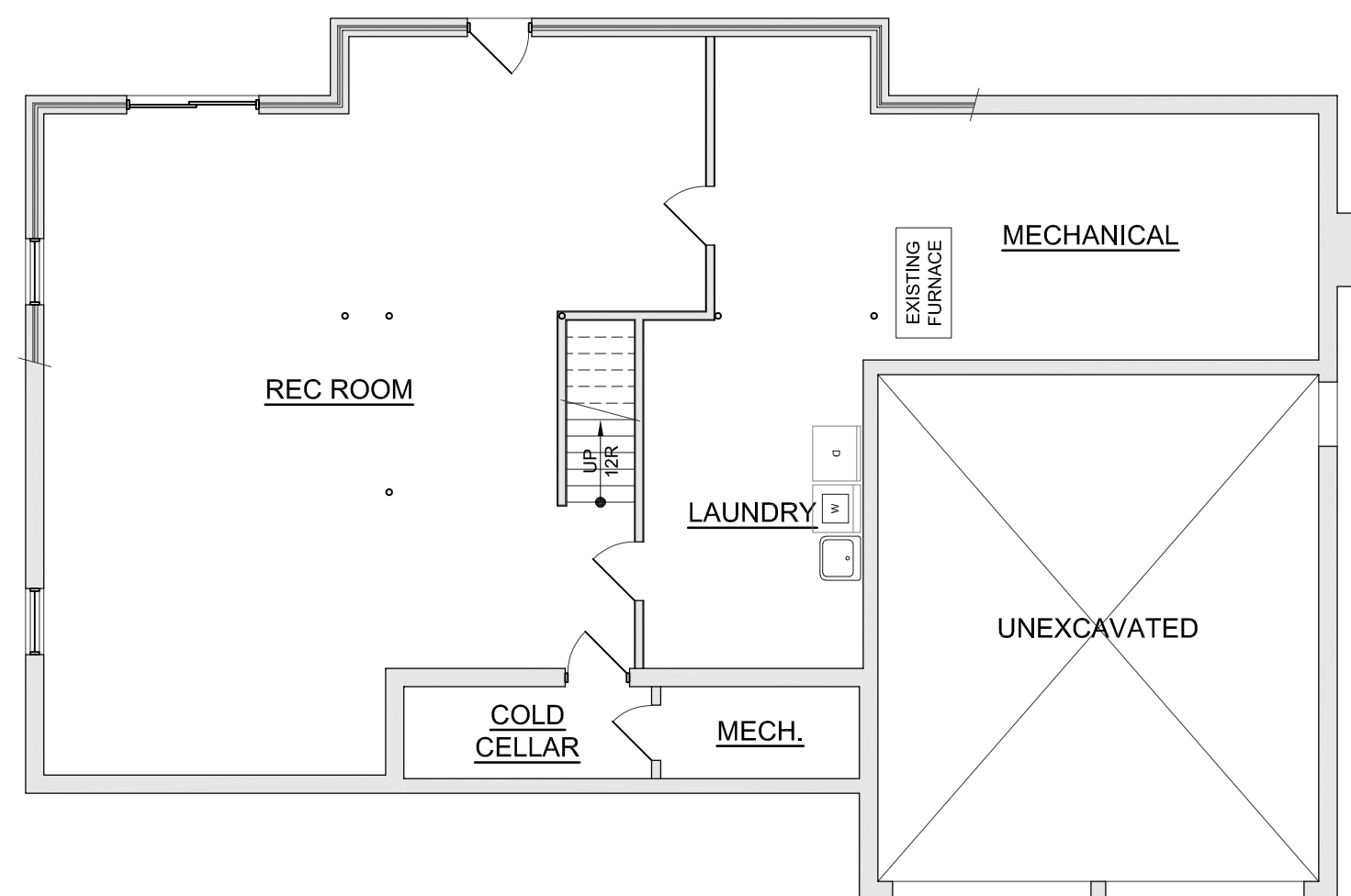
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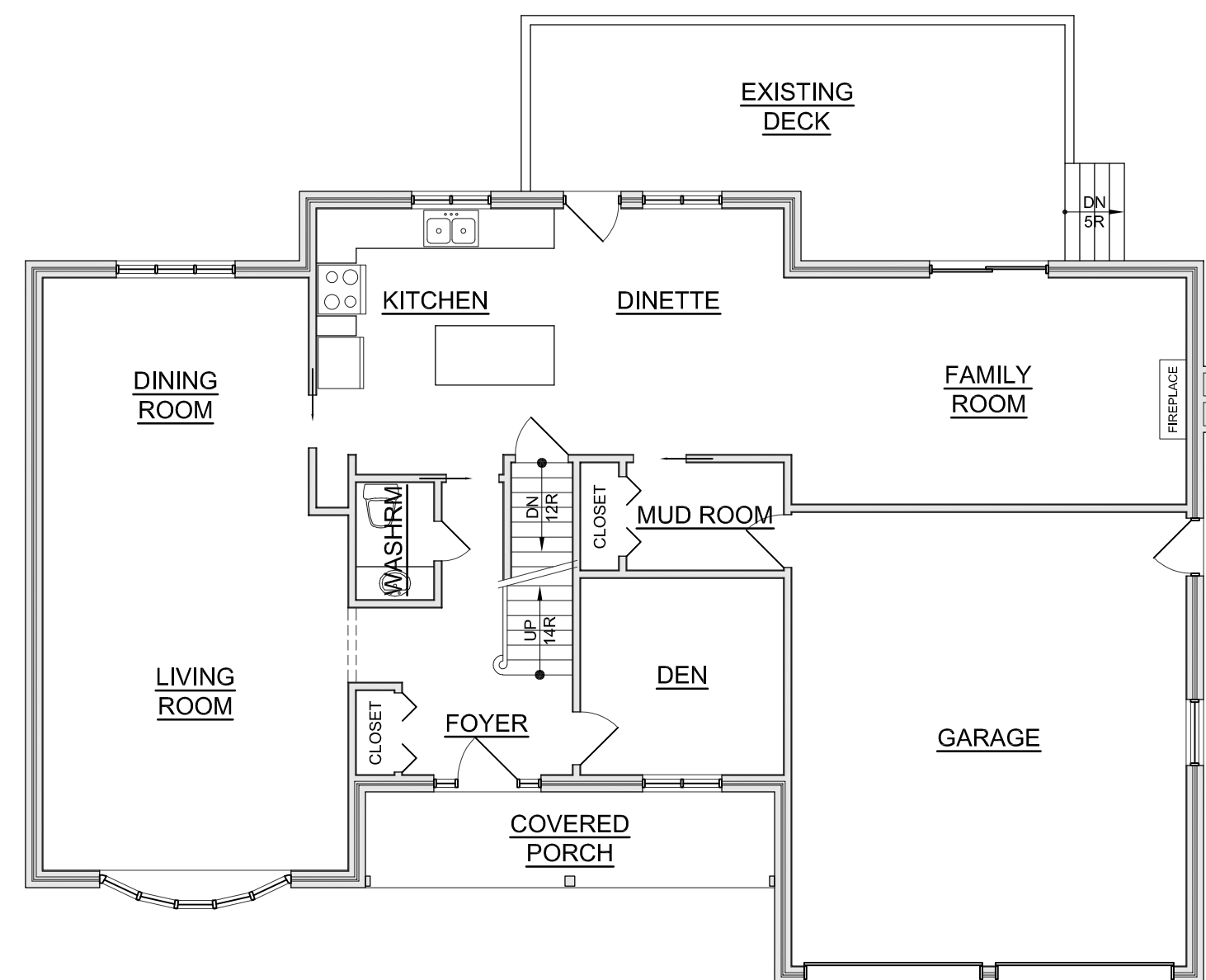
**EXISTING FLOOR
PLANS**

Project No. TE - 34700 - 19	Drawn By: B. MARTIN
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A1



EXISTING BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



EXISTING MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL SCHEDULE:

- WT-1

TYPICAL PARTITION WALL:
1/2" GYPSUM BOARD
2x4 WOOD STUDS AT 16" OC.
1/2" GYPSUM BOARD
- WT-2

FIRE SEPARATION - 1 HR F.R.R.:
(SB-2 - 2.3.4.)
5/8" TYPE 'X' GYPSUM BOARD
EXISTING 1/2" GYPSUM BOARD
EXISTING WOOD STUDS AT 16" OC.
EXISTING 1/2" GYPSUM BOARD
5/8" TYPE 'X' GYPSUM BOARD

- NOTES:**
- PROVIDE COMPATIBLE FIRE STOP SYSTEM AROUND PENETRATIONS IN FIRE SEPARATIONS.
 - OPTIONAL: PROVIDE 'ROCKWOOL AFB' (OR SIMILAR) SOUND ATTENUATION BATT WITHIN STUD SPACE.

LEGEND:

- FIRE SEPARATION. REFER TO PLAN FOR RATING.
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EMERGENCY LIGHTING WALL PACK

BUILDING CODE DATA:

- BUILDING AREA:

± 2,077.6 SQ. FT. (633.3 SQ.M)
- NUMBER OF STOREYS:

TWO + ONE BELOW GRADE
- FLOOR AREA:

BASEMENT

= 1431.3 sq.ft

MAIN FLOOR

= 1798.1 sq.ft

SECOND FLOOR

= 1095.6 sq.ft
- MAX. OCCUPANT LOAD:

18 PERSONS (3.1.17.1.(1)(c)(i) - DESIGN OF SPACE)
- PLUMBING FIXTURES:

2 WATER CLOSETS (1 PER SEX) REQUIRED (T 3.7.4.7.)

2 UNISEX WATER CLOSETS PROVIDED

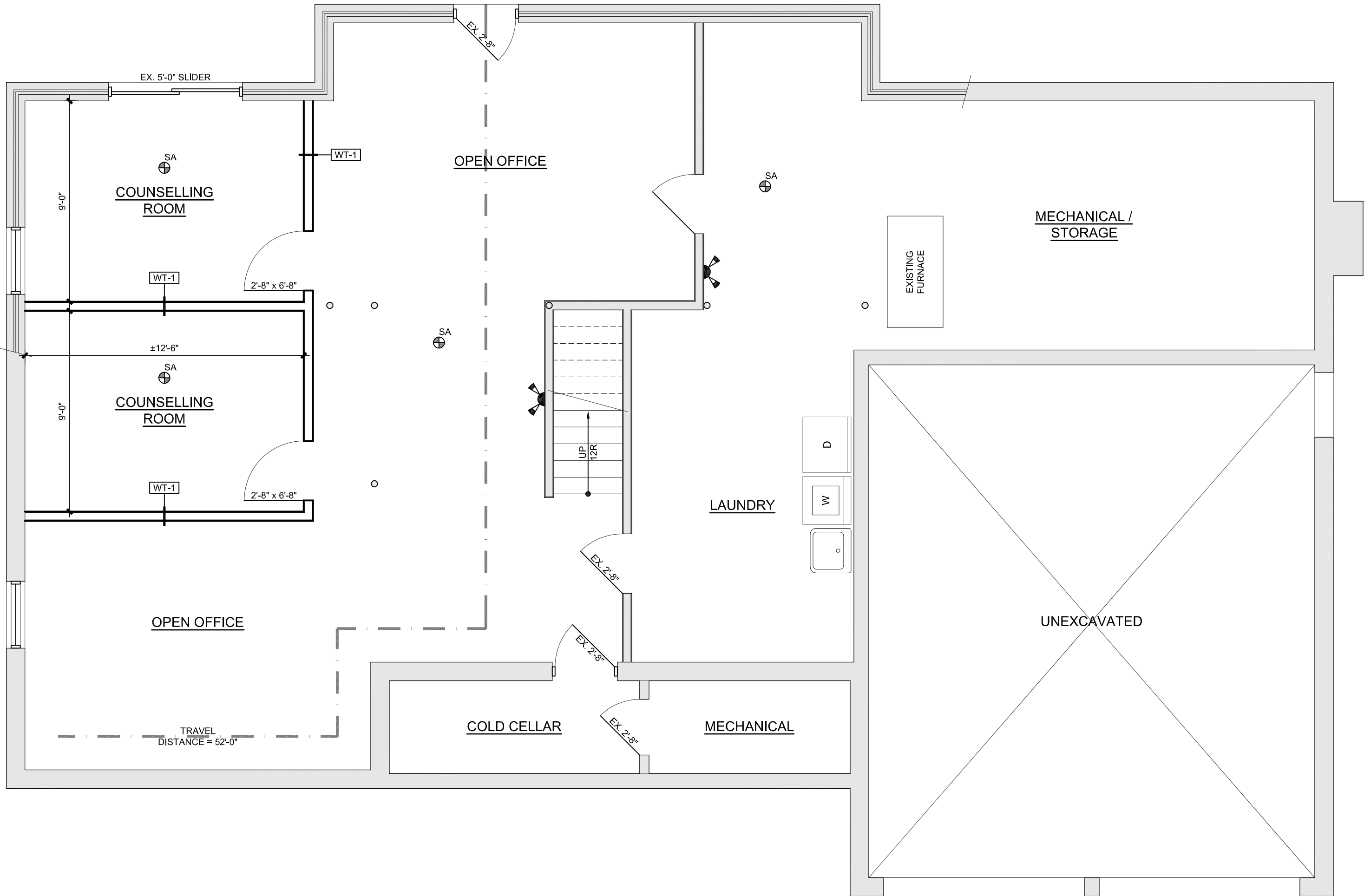
1 ADDITIONAL WATER CLOSET IS PROVIDED. PRIVATE WASHROOM OFF ONE OF THE 2ND FLOOR OFFICES.

DOOR / WINDOW NOTES:

- ALL DOOR HARDWARE TO BE BARRIER-FREE ACCESSIBLE (EG. LEVER TYPE).
- GLAZING IN DOORS AND SIDELITES TO BE 1/4" CLEAR TEMPERED GLASS, UNLESS NOTED OTHERWISE.
- ALL DOORS IN A FIRE SEPARATION TO BE EQUIPPED WITH A SELF CLOSER & POSITIVE LATCHING MECHANISM. DOORS AND FRAMES SHALL BE PERMANENTLY LABELED.
- ATTACH NON-TRANSPARENT HARDWARE, BARS OR OTHER PERMANENT FIXTURES TO GLASS OR TRANSPARENT DOORS SO THE EXISTENCE AND POSITION OF THE DOOR IS READILY APPARENT.
- PROVIDE TRANSLUCENT STICKERS ON TRANSPARENT PANELS (GLAZING) THAT COULD BE MISTAKEN AS A MEANS OF EGRESS.
- VISION PANELS PROVIDED IN DOORS ARE TO BE MINIMUM 3" (75mm) IN WIDTH, BOTTOM OF PANEL TO BE MAXIMUM 35 3/8" (900mm) ABOVE FINISHED FLOOR AND THE EDGE OF THE PANEL TO BE MAXIMUM 9 7/8" (250mm) FROM THE LATCH SIDE OF DOOR.
- KEY DOOR LOCKS PER OWNER'S REQUIREMENTS.
- FINISH (PAINT OR STAIN) NEW DOORS AND FRAMES PER OWNER'S REQUIREMENTS.

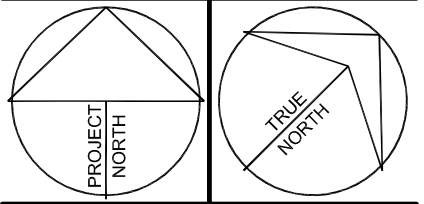
GENERAL NOTES

- READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED MECHANICAL AND ELECTRICAL DRAWINGS AND CONTRACT DOCUMENTS.
- ALL EXISTING WALLS (SHOWN SHADED), TO REMAIN UNLESS NOTED OTHERWISE.
- SITE VERIFY ALL DIMENSIONS & EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- THE DESIGN AND CONSTRUCTION OF ALL WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST EDITIONS OF THE ONTARIO BUILDING CODE, LOCAL REGULATIONS & BY-LAWS AND THE OCCUPATIONAL HEALTH AND SAFETY ACT.
- ALL PENETRATIONS THROUGH FIRE SEPARATIONS TO BE FIRESTOPPED WITH A LISTED FIRESTOP SYSTEM, DESIGNED IN CONFORMANCE WITH ULC-S115. WHERE THERE IS NO LISTED FIRESTOP SYSTEM FOR A SPECIFIC SITE CONDITION, AN ENGINEERING JUDGEMENT SHALL BE DESIGNED BY THE FIRESTOP MANUFACTURER IN ACCORDANCE WITH INTERNATIONAL FIRESTOP COUNCIL GUIDELINES. SUBMIT ALL PROPOSED FIRESTOP DESIGNS AND ENGINEERING JUDGEMENTS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
- FINISH PAINT NEW DRYWALL SURFACES, DOOR & FRAMES, CONTRACTOR TO COORDINATE WITH TENANT, PRIOR TO ANY PAINTING.
- FLOORING AND BASE, CONTRACTOR TO COORDINATE WITH TENANT.
- MAKE GOOD FINISHES DISTURBED BY NEW WORK.
- PROVIDE FIRE EXTINGUISHERS AS PER ONTARIO FIRE CODE REQUIREMENTS.



PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

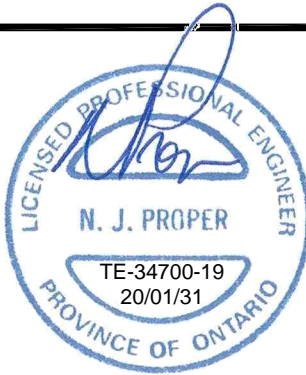
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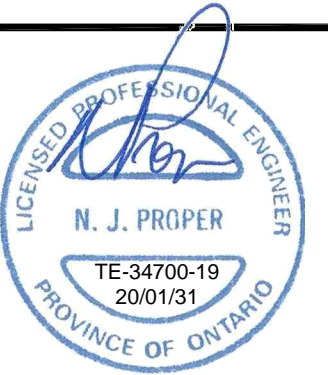
PROPOSED
BASEMENT
FLOOR PLAN

Project No. TE - 34700 - 19	Drawn By: B. MARTIN
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A2

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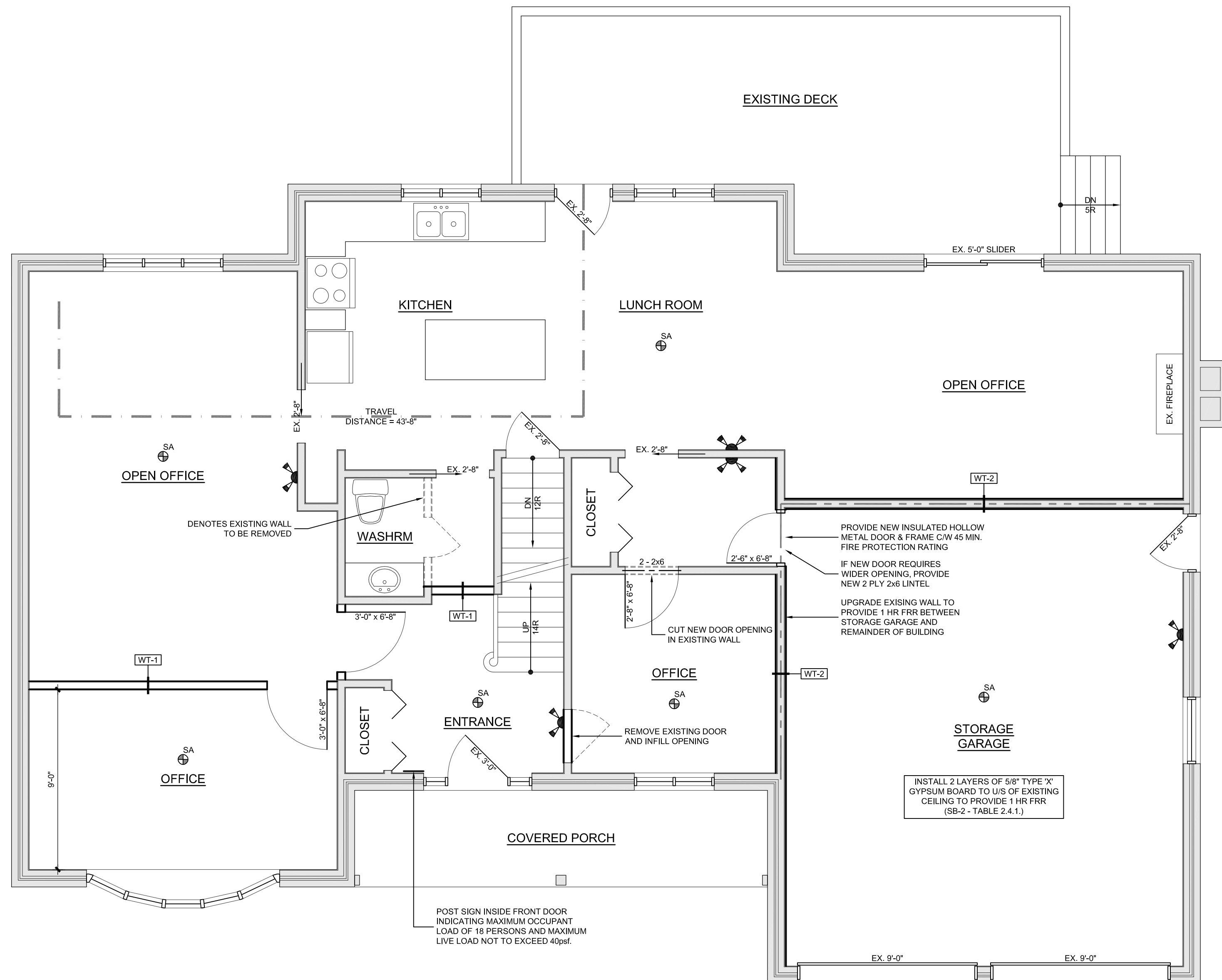


37 WATER STREET, GUELPH, ON

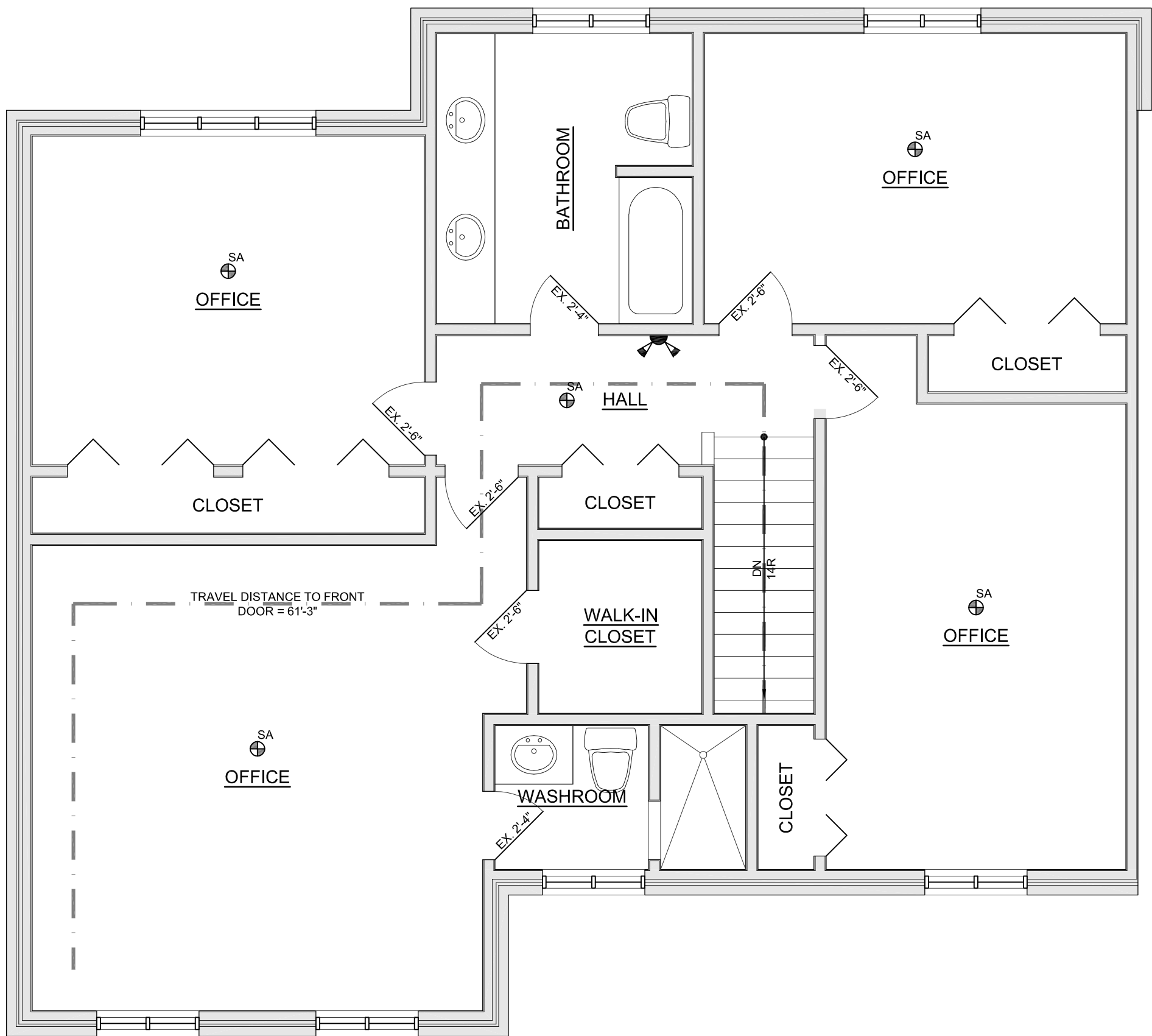
37 WATER STREET, GUELPH, ON

Project No.	Drawn By:
E - 34700 - 19	B. MARTIN

A3



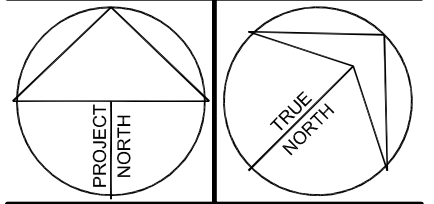
PROPOSED MAIN FLOOR PLAN



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

ITEM	OBC MATRIX - PART 11 RENOVATION OF EXISTING BUILDING			OBC REFERENCE
11.1	BUILDING CLASSIFICATION (EXISTING & PROPOSED)	EXISTING USE: SINGLE FAMILY DWELLING (B.A. = 2077.6 sq.ft) CONSTRUCTION INDEX: 2 EXISTING HAZARD INDEX: 2 EXISTING OCCUPANT LOAD: 8 (2 PERSONS PER BEDROOM) PROPOSED USE: OFFICES - CHARITABLE PROPOSED HAZARD INDEX: 3 PROP. OCCUPANT LOAD: 18		11.2.1 TABLE 11.2.1.1A TABLE 11.2.1.1.I. TABLE 11.2.1.1.J.
11.2	ALTERATION TO EXISTING BUILDING	<input type="checkbox"/> BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION		11.3.3.1 11.3.3.2
11.3	REDUCTION IN PERFORMANCE LEVEL	STRUCTURAL: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES BY INCREASE IN OCCUPANT LOAD: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES BY CHANGE IN MAJOR OCCUPANCY: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		11.4.2.1.(1)(a)&(b) 11.4.2.2.(1) 11.4.2.3.(1)(a) 11.4.2.4 11.4.2.5 11.4.2.6
11.4	COMPENSATING CONSTRUCTION	STRUCTURAL: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (NOTE 1) INCREASE IN OCCUPANT LOAD: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (NOTE 2) CHANGE IN MAJOR OCCUPANCY: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (NOTE 3) PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)		11.4.3.2.(1)(b) 11.4.3.3.(1) 11.4.3.4.(1) 11.4.3.5 11.4.3.6 11.4.3.7
11.5	COMPLIANCE ALTERNATIVES PROPOSED	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)		11.5.1
11.6	ALTERNATIVE MEASURES PROPOSED	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)		
11.7	COMMENTS: 1. SIGN TO BE POSTED LIMITING THE OCCUPANT LOAD OF THE BUILDING TO 18 PERSONS. 2. BUILDING SHALL BE EVALUATED AND EARLY WARNING AND EVACUATION SYSTEMS SHALL BE UPGRADED IN CONFORMANCE WITH TABLE 11.4.3.3., SEE 11.8 BELOW. 3. UPGRADING REQUIRED AS PER TABLE 11.4.3.4.A. SO THAT CONSTRUCTION INDEX IS INCREASED TO AT LEAST EQUAL THE HAZARD INDEX OF THE NEW MAJOR OCCUPANCY. SEE 11.9 BELOW. 4. PROPOSED CONSTRUCTION IS NOT REQUIRED TO COMPLY WITH SECTION 3.8. SINCE EXISTING FINISHED MAIN FLOOR > 200mm ABOVE FINISHED GRADE AND MAIN FLOOR AREA IS < 300 sq.m.			11.3.3.2.(2)
11.8	EVALUATION AND UPGRADING OF EARLY WARNING AND EVACUATION: (a) ACCESS TO EXIT WIDTHS BASED ON OCCUPANT LOAD (9.9.3.) WIDTH OF EXIT FACILITIES = MIN. 900mm WIDTH OF EXIT CORRIDOR = MIN. 1100mm (b) EXIT WIDTHS BASED ON OCCUPANT LOAD (9.9.3.) WIDTH OF EXIT FACILITIES = MIN. 900mm WIDTH OF EXIT CORRIDOR = MIN. 1100mm (c) EXIT SIGNS (9.9.11.) EXIT SIGNS NOT REQUIRED. (< 3 STOREYS & OCCUPANT LOAD < 150) (d) LIGHTING OF EXITS, LIGHTING OF ACCESS TO EXITS AND EMERGENCY LIGHTING (9.9.12.) EMERGENCY LIGHTING REQUIRED IN EXITS & PRINCIPLE ROUTES PROVIDING ACCESS TO EXIT (e) FIRE ALARM SYSTEM (9.10.18.) NOT REQUIRED (OCCUPANT LOAD < 150) (f) SMOKE ALARMS (9.10.19.) NOT REQUIRED (g) TRAVEL DISTANCE AND NUMBER OF EXITS ONE EXIT PERMITTED FROM FLOOR AREA IF FLOOR AREA DOES NOT EXCEED 200 sq.m (2152 sq.ft) AND TRAVEL DISTANCE DOES NOT EXCEED 25m (82'-0")			
11.9	ADDITIONAL UPGRADING AS PER TABLE 11.4.3.4.A: INCREASE CONSTRUCTION INDEX OF (1 OR 2) TO 3 OPTION 1: ADDITIONAL UPGRADING COMPLY WITH TABLE 11.2.1.1.A. RATINGS FOR C.I. OF 3. FLOOR OVER BASEMENT = 30 min. OTHER FLOORS = 30 min. ROOF = 0 hr OPTION 2: PART 11 COMPLIANCE ALTERNATIVE PROVIDE EARLY WARNING SYSTEM. PROPOSED: PROVIDE INTERCONNECTED SMOKE ALARMS IN EVERY ROOM AND HALLWAYS. REFER TO FLOOR PLAN FOR PROPOSED LOCATIONS.			
11.10	UPGRADES: 1. STORAGE GARAGE IS REQUIRED TO BE SEPARATED FROM THE REMAINDER OF THE BUILDING BY A FIRE SEPARATION WITH A 1 HR FRR. UPGRADE WALLS & CEILING AS PER PLANS.			9.10.9.16.(2)

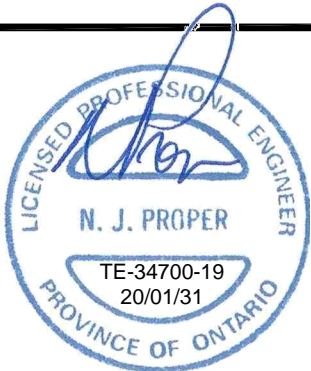
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**PROPOSED
SECOND
FLOOR PLAN**

Project No: TE - 34700 - 19	Drawn By: B. MARTIN
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A4