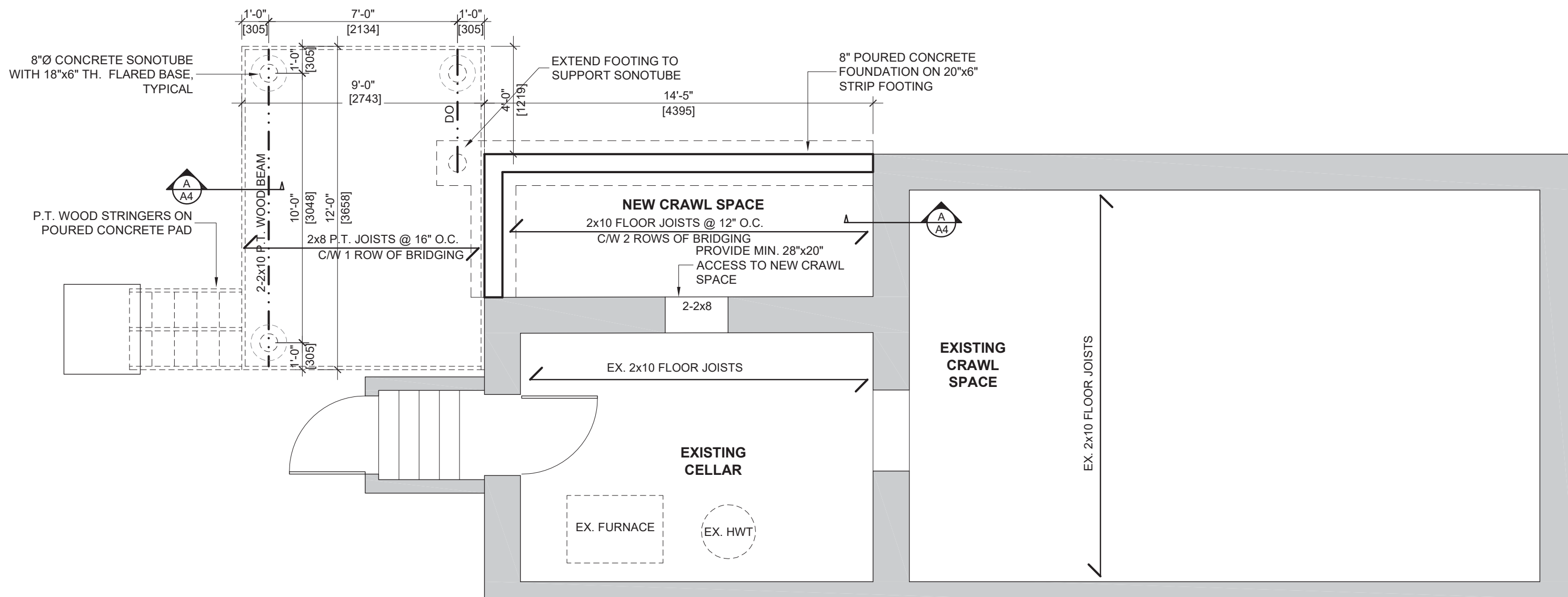


MAIN FLOOR PLAN

1/4" = 1'-0"

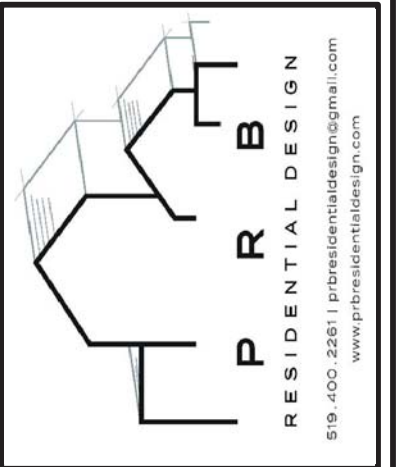


FOUNDATION PLAN

1/4" = 1'-0"

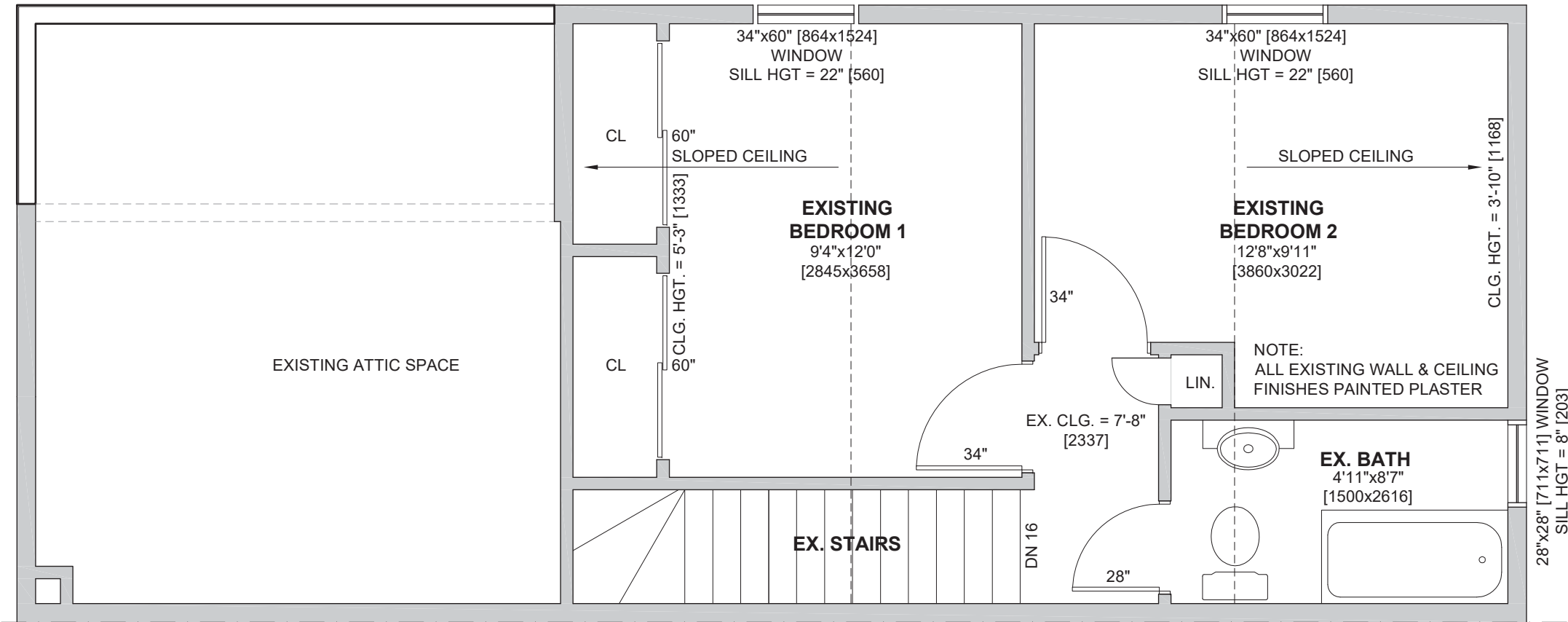
PROJ. NO.	2020-11
DATE	JULY, 2019
DRAWN BY	PRB
SCALE	1/4" = 1'-0"
DRAWING NO.	A2

SHEET TITLE	FLOOR PLANS
PROJECT	KITCHEN ADDITION & DECK THOMPSON RESIDENCE 192 ARTHUR STREET N. GUELPH ONTARIO
AUG. 17, 2020	REVISED FOR PERMIT
DATE	REVISION
DATE	REVISION



The undersigned has reviewed and taken responsibility for this design and is registered under OBC Division C, 3.2.4. The designer is qualified in the appropriate classes/categories.

Signature: *Philip R. Beuglet* Date: Aug. 17, 2020
 Designer: Philip R. Beuglet BCIN: 22591



EXISTING 2nd FLOOR PLAN

1/4" = 1'-0"

DESIGN LOADS:

ROOF (LIVE) = $S_s=1.9 \text{ kPa}$ $S_r=0.4 \text{ kPa}$
 ROOF (DEAD) = 0.15 kPa

ROOF VENTING:

NEW ROOF AREA = 88 sq ft
 $88 / 300 = 0.29 \text{ sq ft (42 sq in) VENTING REQ'D}$
 1 DURAFL0 6050 VENT PROVIDES 50 sq in VENTING
 MIN. 25% FROM VENTED ALUMINUM SOFFIT

FOUNDATION NOTES:

- 1) FOOTINGS TO BEAR DIRECTLY ON UNDISTURBED NATIVE SOILS OR APPROVED ENGINEERED FILL.
- 2) SOFT AREAS UNCOVERED DURING EXCAVATION SHALL BE SUB-EXCAVATED TO SOUND MATERIAL AND FILLED WITH CLEAN, FREE DRAINING GRANULAR SOIL COMPACTED TO 100% STANDARD PROCTOR DRY DENSITY (9PDD).
- 3) DO NOT EXCEED A RISE OF 1 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. USE STEPS NOT EXCEEDING 24" IN HEIGHT AND NOT LESS THAN 48" IN LENGTH.
- 4) PROTECT SOIL FROM FREEZING ADJACENT TO AND BELOW ALL FOOTINGS.
- 5) CONCRETE FOOTINGS TO HAVE A MINIMUM OF 20 MPa CONCRETE STRENGTH.
- 6) ASSUMED SOIL BEARING CAPACITY - 15 kPa

GENERAL NOTES:

- 1) ROOF STRUCTURE DESIGN SNOW LOAD = 1.90 kPa
- 2) DO NOT SCALE DRAWINGS. ALL EXISTING CONDITIONS TO BE VERIFIED ON SITE BY OWNER/CONTRACTOR.
- 3) SUBMIT, FOR REVIEW BY THE MUNICIPAL BUILDING DEPARTMENT (IF REQUIRED), SHOP DRAWINGS OF ALL ROOF TRUSSES. SHOP DRAWINGS TO BEAR THE STAMP OF A REGISTERED PROFESSIONAL ENGINEER OF ONTARIO.
- 4) ALL FRAMING LUMBER TO BE S.P.F. No. 2 OR BETTER. ALL FRAMING TO CONFORM TO O.B.C. PART 9, LATEST EDITION, EXCEPT AS NOTED.
- 5) ALL EXTERIOR LUMBER (OTHER THAN TIMBERS) TO BE PRESSURE TREATED, OR BE OF CEDAR SPECIES.
- 6) UNLESS OTHERWISE NOTED, INSTALL DOUBLE STUDS AT EACH SIDE OF OPENINGS LESS THAN 6'-0" WIDE. FOR OPENINGS 6'-0" TO 10'-0" WIDE, INSTALL TRIPLE STUDS.
- 7) INSTALL GALVANIZED STEEL TIE-DOWN CLIPS TO ALL ROOF JOISTS/TRUSSES AT ALL SUPPORTS, ON BOTH SIDES OF JOIST/TRUSS. EACH CLIP RATED AS RECOMMENDED BY MANUFACTURER.
- 8) ALL WORK AND MATERIALS TO CONFORM TO PROVISIONS OF THE ONTARIO BUILDING CODE, CURRENT EDITION, WHETHER SPECIFIED ON THE DRAWING OR NOT, AS A MINIMUM STANDARD.
- 9) CONTRACTOR/OWNER TO REVIEW ALL DIMENSIONS AND FRAMING CONDITIONS AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCING ANY WORK.
- 10) CAULK AND FLASH AS REQUIRED AROUND ALL EXTERIOR OPENINGS.
- 11) ALL HOLES THROUGH VAPOR BARRIERS (i.e. ELECTRICAL BOXES, PIPING OR DUCTWORK) AND ALL EDGES AT WINDOW OPENINGS, DOORS AND UNDERSIDE OF FLOORS TO BE SEALED.

The undersigned has reviewed and taken responsibility for this design and is registered under OBC Division C, 3.2.4. The designer is qualified in the appropriate classes/categories.

Signature: *Philip R. Beuglet* Date: Aug. 17, 2020
 Designer: Philip R. Beuglet BCIN: 22591



SHEET TITLE EXISTING 2nd FLOOR PLAN and NOTES			
PROJECT KITCHEN ADDITION & DECK: THOMPSON RESIDENCE 192 ARTHUR STREET N. GUELPH ONTARIO			
AUG. 5 2020	ISSUED FOR BUILDING PERMIT	AUG. 17 2020	REVISED FOR PERMIT
△ DATE	REVISION	△ DATE	REVISION

PROJ. NO.	2020-11
DATE	JULY, 2019
DRAWN BY	PRB
SCALE	1/4" = 1'-0"
DRAWING NO.	A2a