



Administration Centre: 400 Clyde Road, P.O. Box 729 Cambridge, ON N1R 5W6

Phone: 519-621-2761 Toll free: 1-866-900-4722 Fax: 519-621-4844 www.grandriver.ca

September 28, 2020

Evelyn Thompson
192 Arthur Street North
Guelph, ON N1E 4V5

Re: Application for Permission No. 720/20, Pursuant to Ontario Regulation 150/06

The Grand River Conservation Authority approved your application on September 22, 2020. The permit and attached schedules are enclosed. The schedules form part of the permit and describe the work as approved by the Grand River Conservation Authority. Any changes to these plans must be reviewed and approved by Grand River Conservation Authority staff.

Please note that this permission is based on existing information, policies, and practices, and does not bind nor imply that any other permission will be forthcoming. Please review when the permit expires (maximum is 2 years) and keep a copy of the permit on-site.

If you have questions regarding this letter or the conditions described on the permit, please contact Kaitlyn Rosebrugh, Regulations Officer, at (519) 621-2763 ext. 2323.

Encl.

c.c. Clerk, City of Guelph
Building Inspector, City of Guelph
Philip Beuglet, PRB Residential Design



Grand River Conservation Authority

Under Ontario Regulation 150/06 made under the Conservation Authorities Act, R.S.O. 1990, Chapter C.27, permission is granted to:

Evelyn Thompson

Whose address for purposes pertaining to this project is:

192 Arthur Street North
Guelph, ON
N1E 4V5

To execute proposed works in accordance with the following particulars and conditions:

Location of Work: 192 Arthur Street North
City of Guelph

Purpose of Work: To construct a residential addition.

This permit is valid from: **September 22, 2020**

And expires on: **September 22, 2022**

The attached Schedules form parts of this permit describing the approved work and must be implemented in order so that the true intent of the permit can be achieved.

The Permittee, by acceptance and in consideration of the issuance of this permit, agrees to the conditions listed on the reverse side of Schedule "A".

Dated at Cambridge, Ontario, this 22nd day of September, 2020

GRAND RIVER CONSERVATION AUTHORITY

Samantha Lawson,
Chief Administrative Officer



Grand River Conservation Authority

Administration Office:
400 Clyde Road, P.O. Box 729, Cambridge, Ontario N1R 5W6
Telephone: 519-621-2761 Fax: (519) 621-4945

**GRCA USE ONLY
APPLICATION NUMBER**

720/20

Schedule "A" - Application for Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Permit (Pursuant to Ontario Regulation 150/06)

Please read, complete each section as required, attach fee and sign and date this application.

Owner's name: Evelyn Thompson E-mail: candygramma2012@gmail.com

Mailing address: 192 Arthur Street North City/Town: Guelph Postal Code: N1E 4V5

Telephone: Bus. Res. 519-993-3121 Fax

Agent's name (Consultant/Contractor): PRB Residential Design (Philip Beuglet)

Mailing address: 30 Stanley Street City/Town: Guelph Postal Code: N1H 1L5

Telephone: Bus. 5194002261 Fax. Email: prbresidentialdesign@gmail.com

Location of proposed work:

Lot No. Concession No. Township

Municipal address of property: 192 Arthur Street North, Guelph

City/Town/Village: CITY OF GUELPH County/Region: CITY OF GUELPH

(Circle One)

Application is hereby made for:

For examples of Minor, Standard and Major applications please refer to the Fee Schedule on pages 3 and 4.

- Minor Development
- Minor Interference with Wetlands, Alteration to Shorelines & Watercourses
- Standard Development
- Standard Interference with Wetlands, Alteration to Shorelines & Watercourses
- Major Development
- Major Interference with Wetlands, Alteration to Shorelines & Watercourses

Description of proposed work: Additions, Porches, decks and landscape walls

To provide a 4.4m x 1.6m one storey kitchen addition and a 2.7m x 3.7m wood deck appx. 1.2m above grade.

This application must include four (4) FOLDED copies of each appropriate plan(s) showing the proposed work.

Land Use: Present Residential Proposed change (if any)

I declare that I have read and agree to the General Conditions of Permit on the reverse of this form and that all information provided is true.

Signature of Owner

September 7, 2020

Date

Signature of Agent

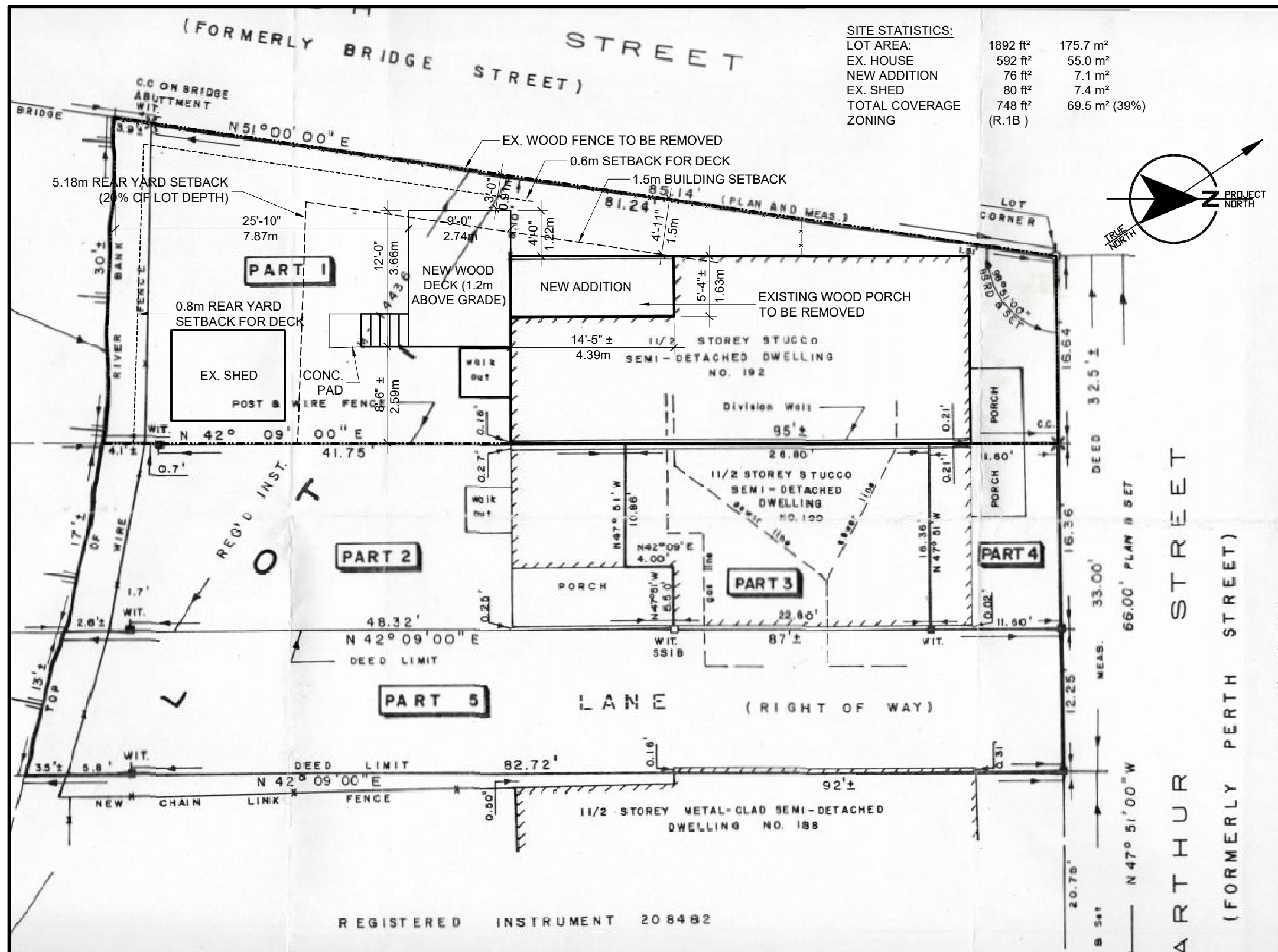
January 1, 2020

GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - (a) to indemnify and save harmless, the Grand River Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - (b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law.
 - (c) that all complaints arising from the proposed works authorized under this permit shall be reported immediately by the permittee to the Grand River Conservation Authority. The permittee shall indicate any action which has been taken, or is planned to be taken, with regard to each complaint.
 - (d) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Grand River Conservation Authority will be granted entry at any time into lands and buildings which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The Grand River Conservation Authority may cancel this permit or may change any of the conditions at any time and without prior notice if it is determined that:
 - (a) the works are not in conformance to the intent of the permission granted;
 - (b) the information presented to obtain a permit is false;
 - (c) the works or method of construction have detrimental impacts on the environment.
5. This permit shall not be assigned (non-transferable).
6. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
7. The Grand River Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue the Permit. Information on this form may be disclosed to Government and Municipal Agencies for review and comment. The name of the applicant, location of the work and a description of the project may be published in GRCA documents including agendas, reports and meeting minutes which are posted on the GRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Co-ordinator, Administration Division, Grand River Conservation Authority, 400 Clyde Road, P.O. Box 729, Cambridge, Ontario, N1R 5W6, (519) 621-2761.



SITE STATISTICS:

LOT AREA:	1892 ft ²	175.7 m ²
EX. HOUSE	592 ft ²	55.0 m ²
NEW ADDITION	76 ft ²	7.1 m ²
EX. SHED	80 ft ²	7.4 m ²
TOTAL COVERAGE	748 ft ²	69.5 m ² (39%)
ZONING	(R.1B)	

DRAWING INDEX:

A1	SITE PLAN
A2	FLOOR PLANS
A2a	EXISTING 2nd FLOOR PLAN & NOTED
A3	ELEVATIONS
A4	BUILDING SECTION

SITE PLAN
1" = 10'-0"

PLAN OF SURVEY
ON PART OF
LOT 1
SOUTHWEST SIDE OF ARTHUR STREET
REGISTERED PLAN 99
CITY OF GUELPH
COUNTY OF WELLINGTON
PLAN: 61 R-2025, June 25, 1979
L. Van Harten, Surveyor

SCHEDULE B

The undersigned has reviewed and taken responsibility for this design and is registered under OBC Division C, 3.2.4. The designer is qualified in the appropriate classes/categories.

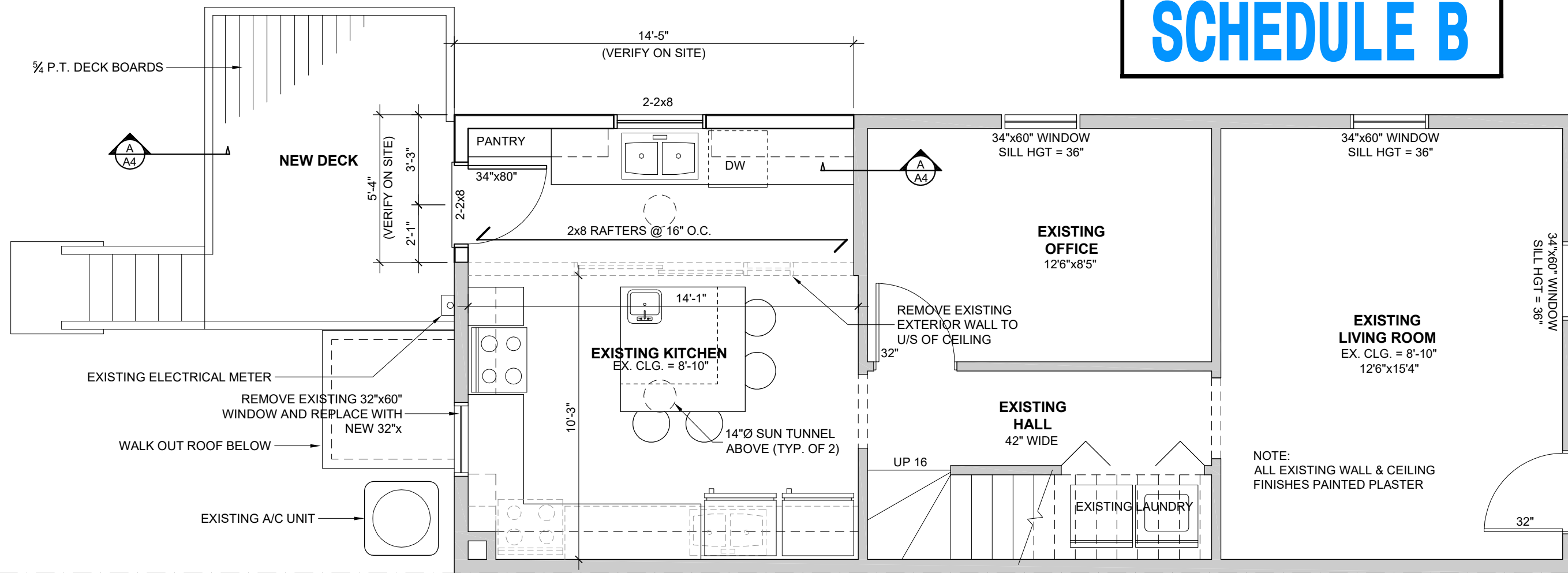
Signature: *Philip R. Beuglet* Date: Aug. 17, 2020
Designer: Philip R. Beuglet BCIN: 22591



SHEET TITLE		SITE PLAN	
PROJECT		KITCHEN ADDITION & DECK: THOMPSON RESIDENCE 192 ARTHUR STREET N. ONTARIO	
ISSUED FOR BUILDING PERMIT		REVISED FOR PERMIT	
AUG 5 2020	DATE	AUG 17 2020	DATE
REVISION	REVISION	REVISION	REVISION

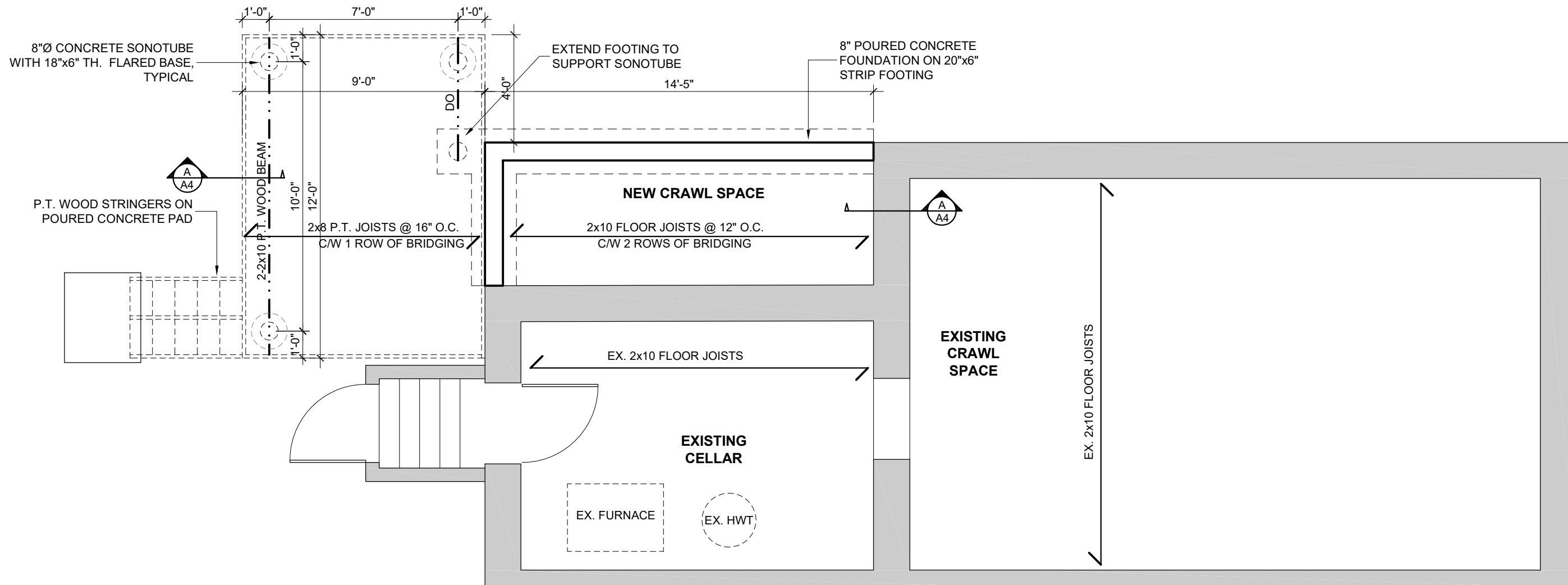
PROJ. NO.	2020-11
DATE	JULY, 2019
DRAWN BY	PRB
SCALE	1" = 10'-0"
DRAWING NO.	A1

SCHEDULE B



MAIN FLOOR PLAN

1/4" = 1'-0"

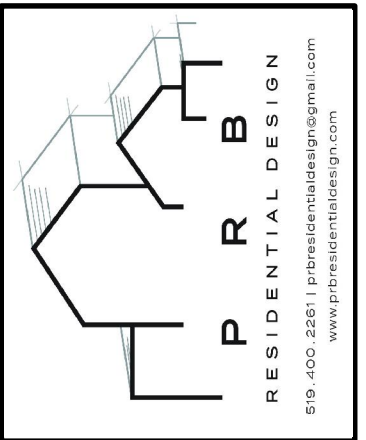


FOUNDATION PLAN

1/4" = 1'-0"

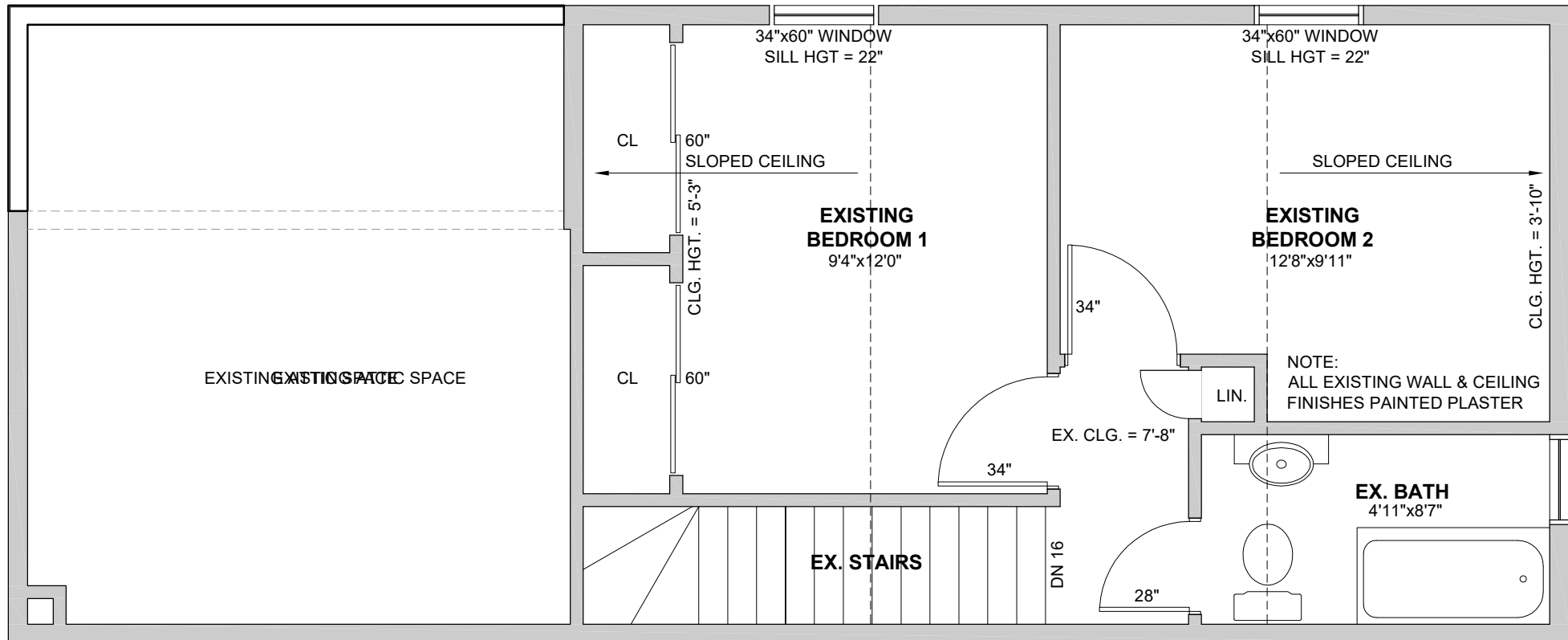
PROJ. NO.	2020-11
DATE	JULY, 2019
DRAWN BY	PRB
SCALE	1/4" = 1'-0"
DRAWING NO.	A2

SHEET TITLE	FLOOR PLANS
PROJECT	KITCHEN ADDITION & DECK: THOMPSON RESIDENCE 192 ARTHUR STREET N. GUELPH ONTARIO
DATE	AUG 17 2020
REVISION	REVISED FOR PERMIT
DATE	
REVISION	
DATE	
REVISION	



The undersigned has reviewed and taken responsibility for this design and is registered under OBC Division C, 3.2.4. The designer is qualified in the appropriate classes/categories.

Signature: *Philip R. Beuglet* Date: Aug. 17, 2020
 Designer: Philip R. Beuglet BCIN: 22591



EXISTING 2nd FLOOR PLAN

1/4" = 1'-0"

SCHEDULE B

DESIGN LOADS:

ROOF (LIVE) = $S_e=1.9 \text{ kPa}$ $S_r=0.4 \text{ kPa}$
 ROOF (DEAD) = 0.15 kPa

ROOF VENTING:

NEW ROOF AREA = 88 sq ft
 $88 / 300 = 0.29 \text{ sq ft (42 sq in) VENTING REQ'D}$
 1 DURAFLO 6050 VENT PROVIDES 50 sq in VENTING
 MIN. 25% FROM VENTED ALUMINUM SOFFIT

FOUNDATION NOTES:

- 1) FOOTINGS TO BEAR DIRECTLY ON UNDISTURBED NATIVE SOILS OR APPROVED ENGINEERED FILL.
- 2) SOFT AREAS UNCOVERED DURING EXCAVATION SHALL BE SUB-EXCAVATED TO SOUND MATERIAL AND FILLED WITH CLEAN, FREE DRAINING GRANULAR SOIL COMPACTED TO 100% STANDARD PROCTOR DRY DENSITY (SPDD).
- 3) DO NOT EXCEED A RISE OF 1 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. USE STEPS NOT EXCEEDING 24" IN HEIGHT AND NOT LESS THAN 48" IN LENGTH.
- 4) PROTECT SOIL FROM FREEZING ADJACENT TO AND BELOW ALL FOOTINGS.
- 5) CONCRETE FOOTINGS TO HAVE A MINIMUM OF 20 MPa CONCRETE STRENGTH.
- 6) ASSUMED SOIL BEARING CAPACITY - 15 kPa

GENERAL NOTES:

- 1) ROOF STRUCTURE DESIGN SNOW LOAD = 1.90 kPa
- 2) DO NOT SCALE DRAWINGS. ALL EXISTING CONDITIONS TO BE VERIFIED ON SITE BY OWNER/CONTRACTOR.
- 3) SUBMIT, FOR REVIEW BY THE MUNICIPAL BUILDING DEPARTMENT (IF REQUIRED), SHOP DRAWINGS OF ALL ROOF TRUSSES. SHOP DRAWINGS TO BEAR THE STAMP OF A REGISTERED PROFESSIONAL ENGINEER OF ONTARIO.
- 4) ALL FRAMING LUMBER TO BE S.P.F. No. 2 OR BETTER. ALL FRAMING TO CONFORM TO O.B.C. PART 9, LATEST EDITION, EXCEPT AS NOTED.
- 5) ALL EXTERIOR LUMBER (OTHER THAN TIMBERS) TO BE PRESSURE TREATED, OR BE OF CEDAR SPECIES.
- 6) UNLESS OTHERWISE NOTED, INSTALL DOUBLE STUDS AT EACH SIDE OF OPENINGS LESS THAN 6'-0" WIDE. FOR OPENINGS 6'-0" TO 10'-0" WIDE, INSTALL TRIPLE STUDS.
- 7) INSTALL GALVANIZED STEEL TIE-DOWN CLIPS TO ALL ROOF JOISTS/TRUSSES AT ALL SUPPORTS, ON BOTH SIDES OF JOIST/TRUSS. EACH CLIP RATED AS RECOMMENDED BY MANUFACTURER.
- 8) ALL WORK AND MATERIALS TO CONFORM TO PROVISIONS OF THE ONTARIO BUILDING CODE, CURRENT EDITION, WHETHER SPECIFIED ON THE DRAWING OR NOT, AS A MINIMUM STANDARD.
- 9) CONTRACTOR/OWNER TO REVIEW ALL DIMENSIONS AND FRAMING CONDITIONS AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCING ANY WORK.
- 10) CAULK AND FLASH AS REQUIRED AROUND ALL EXTERIOR OPENINGS.
- 11) ALL HOLES THROUGH VAPOR BARRIERS (i.e. ELECTRICAL BOXES, PIPING OR DUCTWORK) AND ALL EDGES AT WINDOW OPENINGS, DOORS AND UNDERSIDE OF FLOORS TO BE SEALED.

The undersigned has reviewed and taken responsibility for this design and is registered under OBC Division C, 3.2.4. The designer is qualified in the appropriate classes/categories.

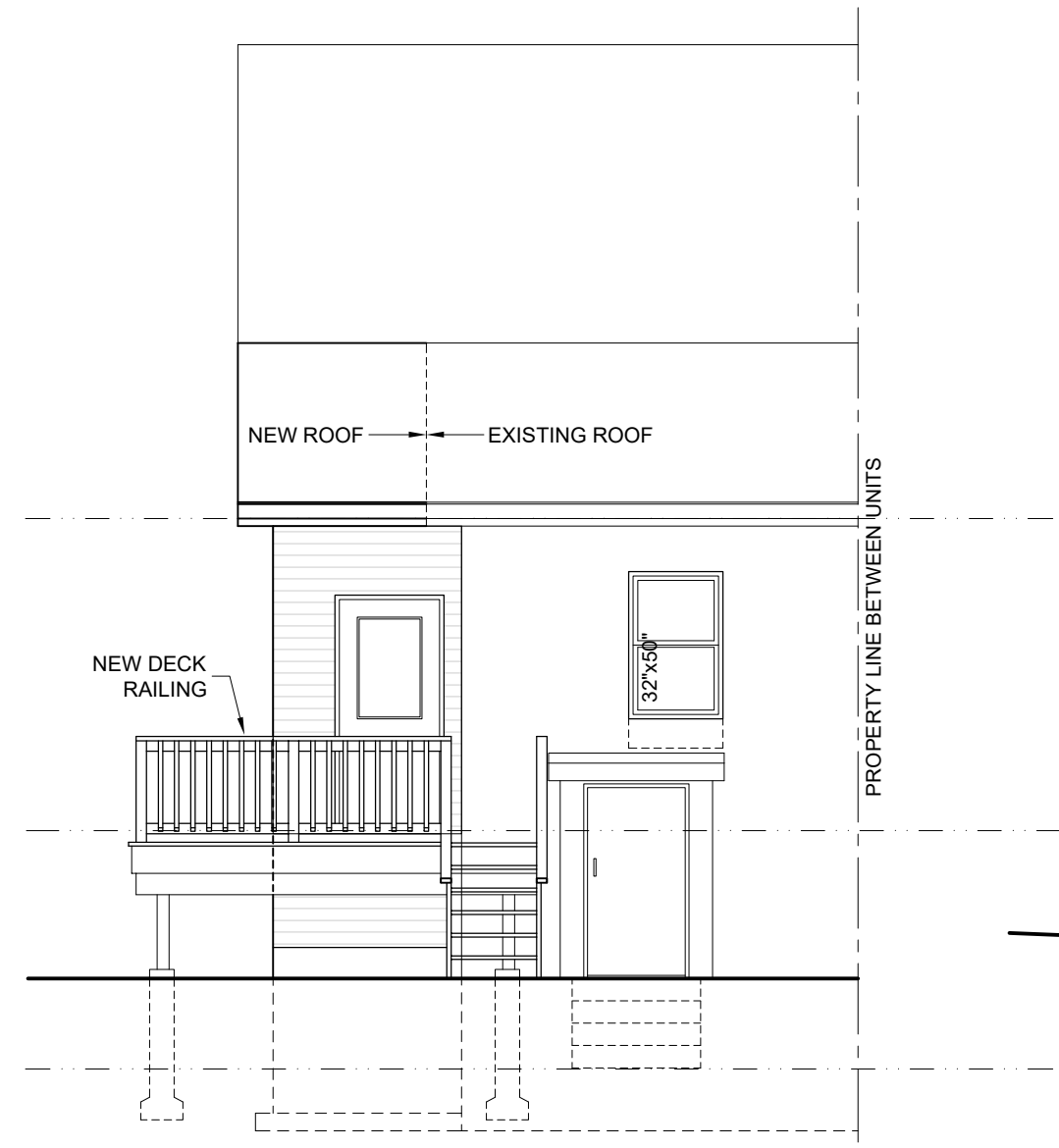
Signature: *Philip R. Beuglet* Date: Aug. 17, 2020
 Designer: Philip R. Beuglet BCIN: 22591



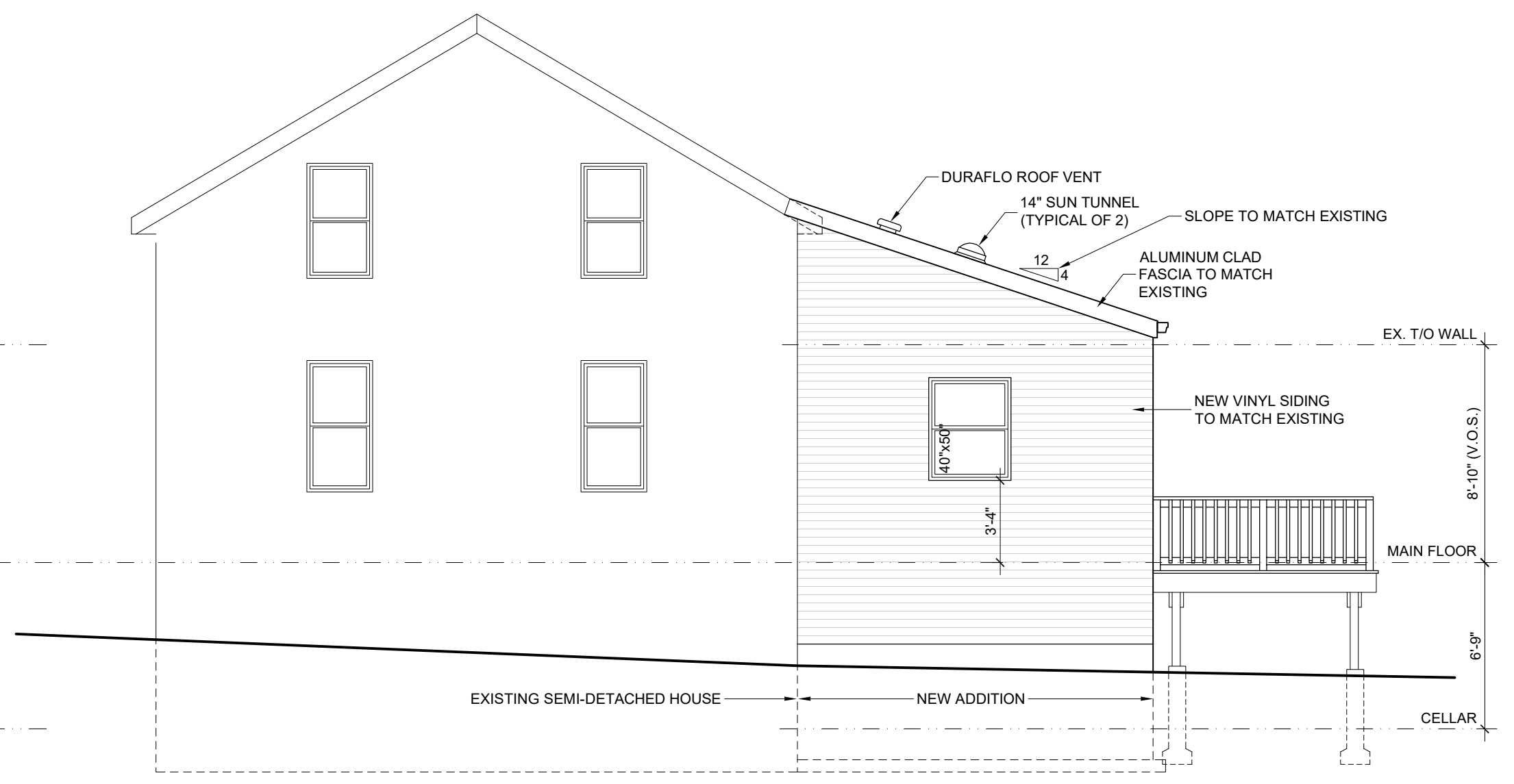
SHEET TITLE EXISTING 2nd FLOOR PLAN and NOTES	
PROJECT KITCHEN ADDITION & DECK: THOMPSON RESIDENCE 192 ARTHUR STREET N. ONTARIO	
AUG 5 2020	ISSUED FOR BUILDING PERMIT
AUG 17 2020	REVISED FOR PERMIT
△ DATE	REVISION
△ DATE	REVISION

PROJ. NO.	2020-11
DATE	JULY, 2019
DRAWN BY	PRB
SCALE	1/4" = 1'-0"
DRAWING NO.	A2a

SCHEDULE B



REAR (SOUTH) ELEVATION
3/16" = 1'-0"



SIDE (WEST) ELEVATION
3/16" = 1'-0"

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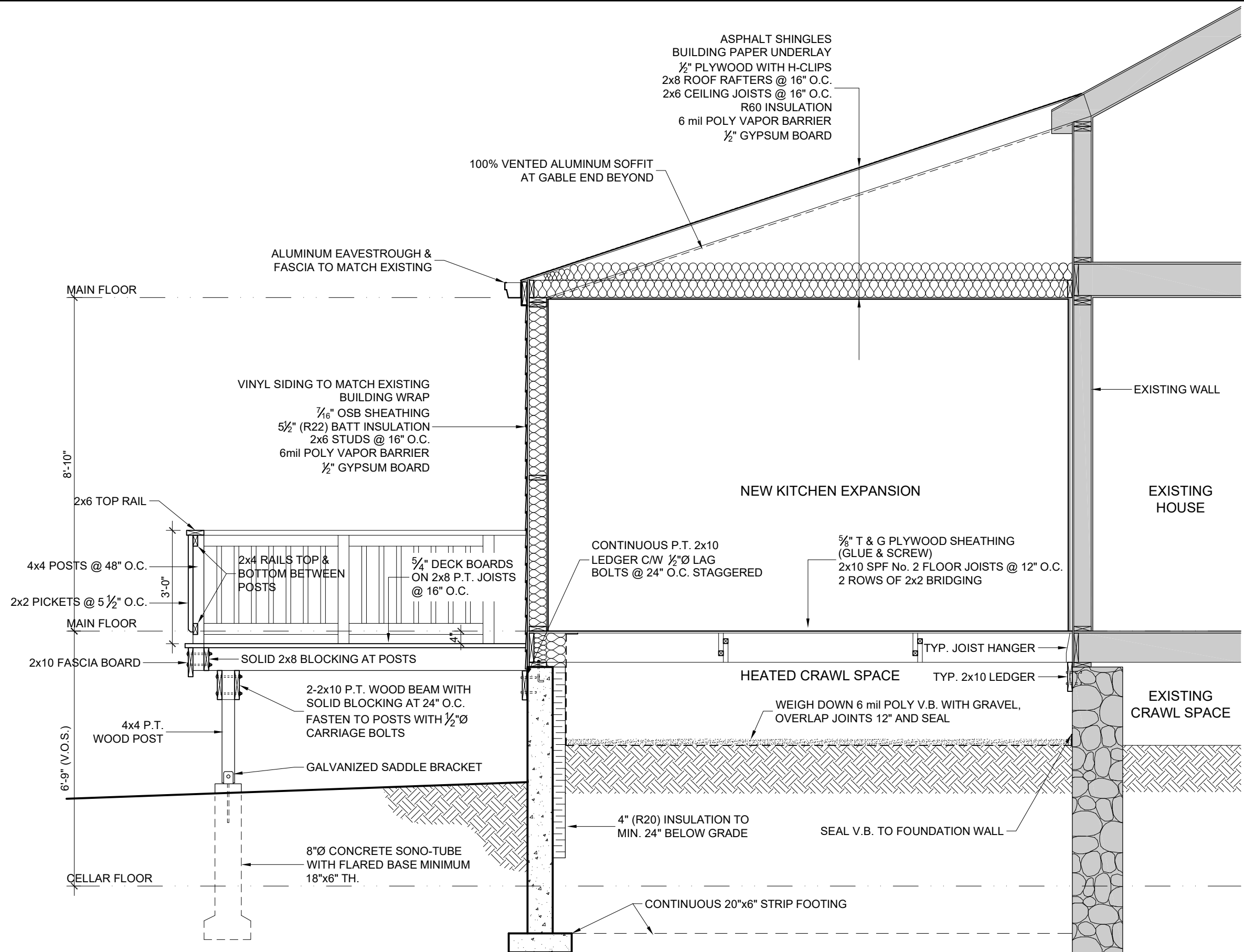
Signature: *Philip R. Beuglet* Date: AUG. 17, 2020
 Designer: Philip R. Beuglet BCIN: 22591



SHEET TITLE				ELEVATIONS			
PROJECT				KITCHEN ADDITION & DECK:			
				THOMPSON RESIDENCE			
				192 ARTHUR STREET N. ONTARIO			
GUELPH							
AUG. 5 2020	ISSUED FOR BUILDING PERMIT	AUG. 17 2020	REVISED FOR PERMIT				
△ DATE	REVISION	△ DATE	REVISION				

PROJ. NO.	2020-11
DATE	JULY, 2019
DRAWN BY	PRB
SCALE	3/16" = 1'-0"
DRAWING NO.	A3

SCHEDULE B



BUILDING SECTION A-A

3/8" = 1'-0"

CONFIRM DEPTH OF EXISTING STONE FOUNDATION WALL ON SITE

The undersigned has reviewed and taken responsibility for this design and is registered under OBC Division C, 3.2.4. The designer is qualified in the appropriate classes/categories.

Signature: *Philip R. Beuglet* Date: AUG. 17, 2020
 Designer: Philip R. Beuglet BCIN: 22591



SHEET TITLE BUILDING SECTION	
PROJECT KITCHEN ADDITION & DECK: THOMPSON RESIDENCE 192 ARTHUR STREET N. ONTARIO	
AUG. 5 2020	ISSUED FOR BUILDING PERMIT
AUG. 17 2020	REVISED FOR PERMIT
△ DATE	REVISION
△ DATE	REVISION

PROJ. NO.	2020-11
DATE	JULY, 2019
DRAWN BY	PRB
SCALE	3/8" = 1'-0"
DRAWING NO.	A4