



**2187 Gordon Street, City of
Guelph, Ontario, Cultural
Heritage Resource Impact
Assessment**

Final Report

March 13, 2024

Prepared for:

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2187 GORDON STREET, CITY OF GUELPH, ONTARIO, CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT

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GORDON STREET, GUELPH



Executive Summary

Stantec Consulting Ltd. (Stantec) was retained by 2575950 Ontario Limited (the Proponent) to prepare a Cultural Heritage Resource Impact Assessment (CHRIA) for the property located at 2187 Gordon Street, in the City of Guelph (the City), Ontario. The property is listed on the City's Municipal Register of Culture Heritage Properties, as containing a circa 1910 Edwardian residence and circa 1850 barn. The Proponent is proposing to develop the property in connection with the *Clair-Maltby Secondary Plan* and *Master Environmental Servicing Plan Study* (MESP). The Secondary Plan and MESP were approved by City Council on May 16, 2022. Within the Secondary Plan, the identified cultural heritage resources on the property (Schedule F), are included within a proposed high density residential area (Schedule B). The City of Guelph's Order of Property Standards Officer has issued a series of Make Safe Work Orders regarding the property's compliance with By-law (2000)-16454. On October 26, 2023, City Council approved the Notice of Intention to Designate (NOID) 2187 Gordon Street as a property of cultural heritage value or interest (CHVI) under section 29, Part IV of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18.

In 2019, Stantec prepared a Cultural Heritage Evaluation Report (CHER) for the property, and it was determined to have CHVI as it met three criteria under *Ontario Regulation 9/06* (1i, 3ii, and 3iii). The property includes a representative early 20th century residence and a mid to late 19th century Ontario vernacular barn with a relatively rare stone tail. The property is also physically, visually, and historically connected with the adjacent 2162 Gordon Street, which includes a mid to late 19th century residence and barn. The property has landmark value for its bank barn which stands out in the Gordon Street viewscape travelling north into the City. The CHER recommended the completion of a CHRIA for the property to assess the impacts of the proposed development on the identified CHVI.

The impact assessment determined that the proposed undertaking and the proposed removal of the residence and barn will result in direct and indirect impacts to identified CHVI and therefore conservation measures were evaluated, and recommendations prepared. The following conservation measures are recommended:

- Residence relocation:
 - Proponent to explore the feasibility of relocation in consultation with the City. The Proponent will pursue the viability of the following options:
 - a) Relocation of the residence elsewhere on the property for adaptive re-use.
 - b) Relocation of the residence to another Proponent owned property, preferably in the City for adaptive re-use.
 - c) Offering the residence to the City for relocation on City lands, and adaptive re-use under City ownership.



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- d) Advertising the sale of the residence on the open market. The residence could be advertised for sale in City newspapers, or on the Architectural Conservancy of Ontario website.
- Barn partial relocation:
 - Partial relocation of the barn coupled with the Commemoration Plan. A portion or portions of the barn to be dismantled, relocated, and reassembled within publicly owned lands.. A reputable barn contractor or heritage structural engineer with historical barn experience should be retained to undertake the partial relocation.
 - Prior to the partial relocation, the portion or portions selected for relocation will need to be documented, numbered, and labelled. Following the deconstruction of the portion or portions, they will need to be stored and protected until the reconstruction can be undertaken in coordination with the Commemoration Plan and the proposed development.
 - Commemoration Plan
 - Preparation of a Commemoration Plan that includes documentation and salvage, if required, for the residence (if applicable) and barn.
 - CHRIA
 - Once detailed site plans are available, the Proponent to have a separate CHRIA prepared by a qualified heritage professional to assess the impacts of the development on the adjacent heritage properties at 2162 and 2270 Gordon Street.

To provide for the retention of historic information, copies of this report should be deposited with a local repository of historic material. Therefore, it is recommended that this report be deposited by 2187 Gordon Street Inc. at the following locations:

Guelph Public Library
100 Norfolk Street
Guelph, ON, N1H 4J6

City of Guelph, Heritage Guelph Committee
1 Carden Street
Guelph, ON, N1H 3A1

The Executive Summary highlights key points from the report only; for complete information and findings the reader should examine the full report.



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Abbreviations

CHER	Cultural Heritage Evaluation Report
CHVI	Cultural heritage value or interest
CHRIA	Cultural Heritage Resource Impact Assessment
M	metres
MESP	Master Environmental Servicing Plan
MCM	Ministry of Citizenship and Multiculturalism



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Study Purpose

1.0 STUDY PURPOSE

Stantec Consulting Ltd. (Stantec) was retained by 2575950 Ontario Limited (the Proponent) to prepare a Cultural Heritage Resource Impact Assessment (CHRIA) for the property located at 2187 Gordon Street, in the City of Guelph (the City), Ontario (Figure 1-1). The property is listed on the City's Municipal Register of Culture Heritage Properties, as containing a circa 1910 Edwardian residence and circa 1850 barn. The Proponent is proposing to develop the property in connection with the *Clair-Maltby Secondary Plan* and *Master Environmental Servicing Plan Study* (MESP). The Secondary Plan and MESP were approved by City Council on May 16, 2022. Relevant policies discussed herein have been approved by the Ontario Land Tribunal, as they relate to the subject property. Within the Secondary Plan, the identified cultural heritage resources on the property (Schedule F), are included within a proposed high density residential area as part of the Gordon Street Corridor (Schedule B).

The City of Guelph's Order of Property Standards Officer has issued a series of Make Safe Work Orders regarding the property's compliance with By-law (2000)-16454. On October 26, 2023, City Council approved the Notice of Intention to Designate (NOID) 2187 Gordon Street as a property of cultural heritage value or interest (CHVI) under Section 29, Part IV of the *Ontario Heritage Act* (OHA), R.S.O. 1990, Chapter 0.18.

In 2019, Stantec prepared a Cultural Heritage Evaluation Report (CHER) for the property, and it was determined to have CHVI as it met three criteria under *Ontario Regulation 9/06* (1i, 3ii, and 3iii). The property includes a representative early 20th century residence with Edwardian design influences and a mid to late 19th century Ontario vernacular barn with a relatively rare stone tail. The property is also physically, visually, and historically connected with the adjacent 2162 Gordon Street, which includes a mid to late 19th century residence and barn. The property has landmark value for its bank barn which stands out in the Gordon Street viewscape travelling north into the City. The CHER recommended the completion of a CHRIA for the property to assess the impacts of the proposed development on the identified CHVI (Appendix A).

This CHRIA will follow the City's *Cultural Heritage Resource Impact Assessment Guidelines* (City Guidelines) (City of Guelph 2010). The preparation of this report will also be guided by the Ministry of Citizenship and Multiculturalism's (MCM) Info Sheet #5 in *Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*. This document provides guidance on the assessment of impacts and mitigation strategies based on CHVI resulting from a proposed change (Government of Ontario 2006).

As per the guidance contained in the City's Guidelines, this report contains the following components:

- Identification of the significance of all cultural heritage resources within the established study boundary.



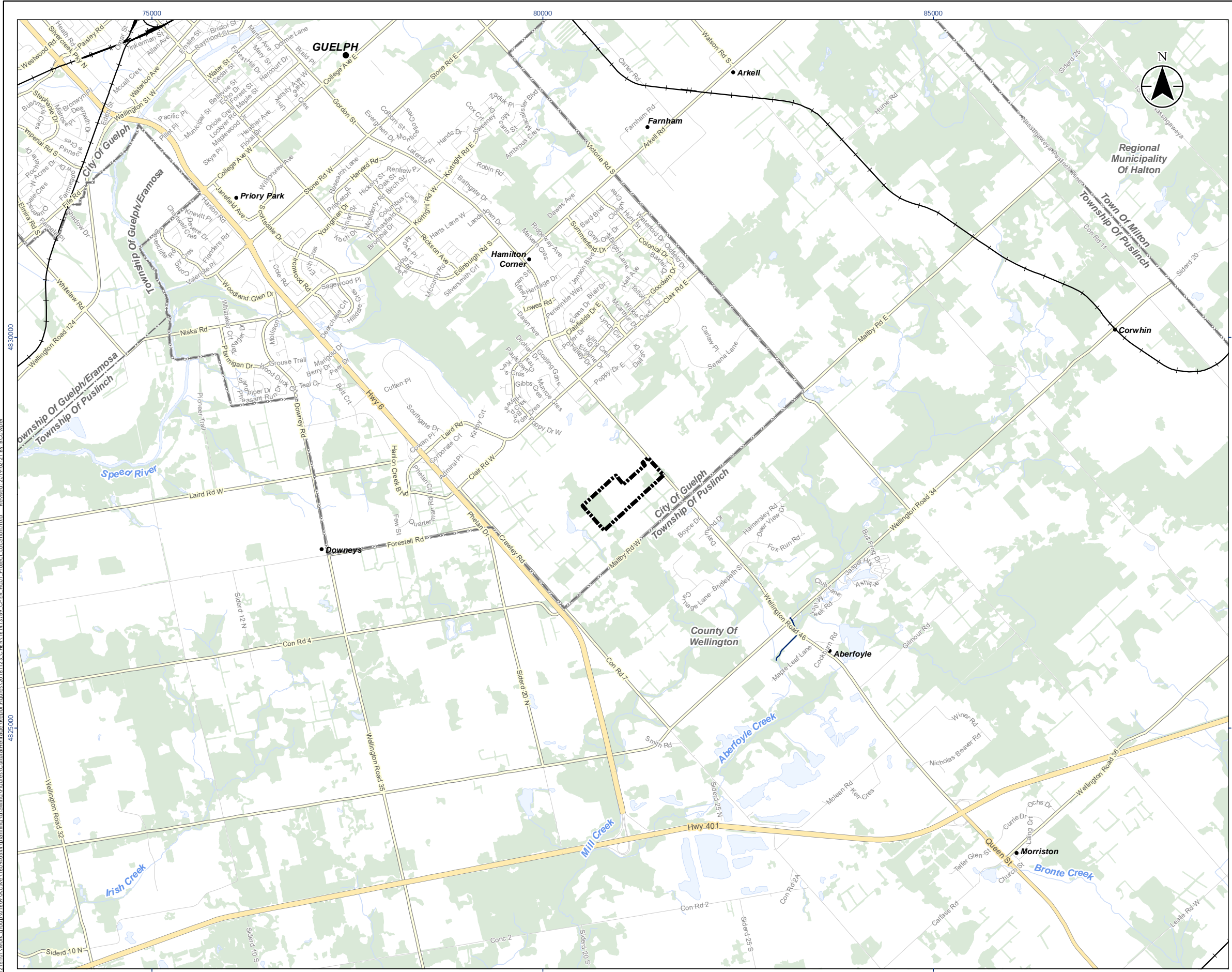
2187 GORDON STREET, CITY OF GUELPH, ONTARIO, CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT

Study Purpose

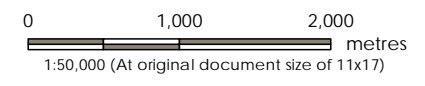
- Documentation of the cultural heritage resources by way of photographs and by mapping the context and setting of the cultural heritage resources identified.
- An outline of the context of the development and site alteration proposal as submitted, including identification of the potential impact the proposal would have on cultural heritage resources.
- Identification of conservation options.

The Study Area, referred to throughout this CHRIA as the "property", is the municipal property boundary of 2187 Gordon Street, which contains a two storey early 20th century residence, a mid to late 19th century barn, an outbuilding, wood lots, and agricultural fields.

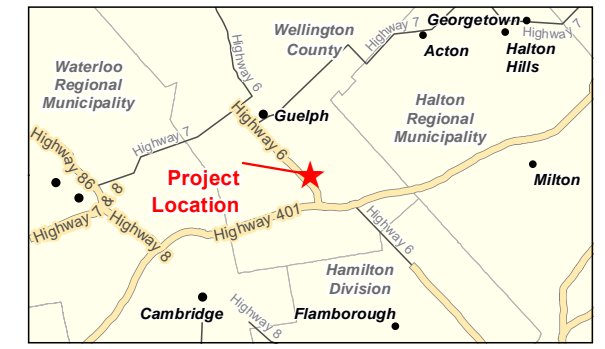




- Legend
- Study Area
 - Constructed Drain
 - Railway - Operational
 - Expressway / Highway
 - Major Road
 - Minor Road
 - Watercourse
 - Municipal Boundary - Lower Tier
 - Municipal Boundary - Upper Tier
 - Waterbody
 - Wooded Area



- Notes
1. Coordinate System: NAD 1983 UTM Zone 18N
 2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2018.



Project Location
 City of Guelph, ON
 Prepared by BCC on 2019-02-21
 Technical Review by MR on 2019-02-20

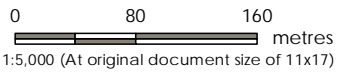
Client/Project
MATTAMY HOMES
 2187 GORDON STREET
 CULTURAL HERITAGE EVALUATION REPORT

Figure No.
1
 Title
 General Location of the Study Area

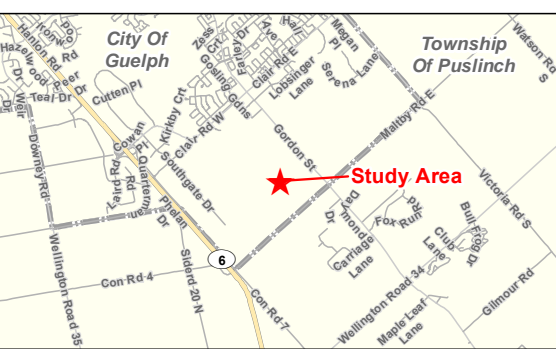


Legend

- Study Area
- Municipal Boundary - Lower Tier
- Municipal Boundary - Upper Tier
- Waterbody
- Watercourse
- Residence
- Barn



- Notes
1. Coordinate System: NAD 1983 UTM Zone 17N
 2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2018.
 3. Orthoimagery © First Base Solutions, 2018. Imagery Date, 2017.



Project Location: 160940544
 City of Guelph, ON
 Prepared by KB on 2022-04-06
 Technical Review by LW on TBD

Client/Project
MATTAMY HOMES
 2187 GORDON STREET
 CULTURAL HERITAGE EVALUATION REPORT

Figure No.
 1-2

Title
Study Area Detail

I:\141215-013\work_group\01609\active\160940544\plan\mattamyhomes\culturalheritage\super\figure\1-2\study_area_detail.mxd - Revised: 2019-03-21 By: BCouper
 4815000
 4815500

Methodology

2.0 METHODOLOGY

2.1 POLICY FRAMEWORK

2.1.1 Planning Act

The *Planning Act* provides a framework for land use planning in Ontario, integrating matters of provincial interest in municipal and planning decisions. Part I of the *Planning Act* identifies that the Minister, municipal councils, local boards, planning boards, and the Ontario Lands Tribunal shall have regard for provincial interests, including:

(d) The conservation of features of significant architectural, cultural, historical or scientific interest

(Government of Ontario 1990)

2.1.2 The 2020 Provincial Policy Statement

The Provincial Policy Statement (PPS) was updated in 2020 and is intended to provide policy direction for land use planning and development regarding matters of provincial interest. Cultural heritage is one of many interests contained within the PPS. Section 2.6.1 of the PPS states that, “significant built heritage resources and cultural heritage landscapes shall be conserved”.

(Government of Ontario 2020)

Under the PPS definition, conserved means:

The identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted, or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments

Under the PPS definition, significant means:

In regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.

Under the PPS, “protected heritage property” is defined as follows:

property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and



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Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

(Government of Ontario 2020)

2.1.3 Ontario Heritage Act and Ontario Regulation 9/06

The OHA provides the primary statutory framework for the conservation of cultural heritage resources in Ontario. Conservation of cultural heritage resources is a matter of provincial interest, as reflected in the OHA policies. Under Part IV and V of the OHA, a municipal council may designate individual properties containing CHVI (Part IV) or properties within a heritage conservation district (Part V) as containing CHVI. In accordance with Section 27(1) of the OHA, a municipality maintains a register of properties that are of potential CHVI. A municipality may also include a list of properties that have not been designated but may contain CHVI, these are often referred to as “listed properties.”

The criteria for determining CHVI is defined by *Ontario Regulation (O. Reg.) 9/06* (as amended by O. Reg. 569/22). In order to establish CHVI, at least one of the following criteria must be met:

1. The property has design value or physical value because it is a rare, unique, representative, or early example of a style, type, expression, material, or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining, or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually, or historically linked to its surroundings.
9. The property has contextual value because it is a landmark

(Government of Ontario 2023)



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2.1.4 City of Guelph Official Plan

The City is currently reviewing and updating its Official Plan to confirm to changes to provincial legislation and policies as part of Official Plan Amendment 80, which as adopted by City Council on July 11, 2022. A section on Cultural Heritage Resources was added to the Official Plan, as part of *Amendment No 48 to the City of Guelph Official Plan: Envision Guelph – Official Plan Update Phase 3* in 2017.

The following policies, taken verbatim from Section 4.8 of the Official Plan Amendment No 48 relate to the Study Area:

12. The City will ensure the *conservation* and protection of *cultural heritage resources* in all planning and *development* matters including site alteration, transportation, servicing and infrastructure projects.
13. The City may require, as a condition of approval of a development proposal within which a *cultural heritage resource* is situated or which is adjacent to a *protected heritage property*, the provision of one or more performance assurances, performance security, property insurance and/or maintenance agreements, in a form acceptable to the City, in order to conserve the *cultural heritage resource*.
14. It is preferred that *cultural heritage resources* be conserved in situ and that they not be relocated unless there is no other means to retain them. Where a *cultural heritage resource* cannot be conserved in situ or through relocation and approval for demolition or removal is granted, the City in consultation with Heritage Guelph will require the proponent to provide full documentation of the *cultural heritage resource* for archival purposes, consisting of a history, photographic record and measured drawings, in a format acceptable to the City.
18. The predominant *built heritage* resources in the periphery of the city are the farmsteads. While there have been historically strong cultural, economic, social and political links between the City of Guelph and its rural neighbours, it is the farming history which sets this area apart from the more heavily urbanized parts of the City. In many cases, the farmsteads are linked to pioneer settlers and other important persons, technologies, architectural styles and developments, or represent the historical development of Guelph and Wellington County. Many are intact examples of early settlement patterns in Wellington County, which survive as a testament to the prosperity and history of this area. These *built heritage resources* are most deserving of preservation and careful incorporation into *developments* in accordance with the provisions of this Plan.

(City of Guelph 2017)

2.1.5 Clair-Maltby Secondary Plan

The Study Area is within the *Clair-Maltby Secondary Plan* and MESP. The *Clair-Maltby Secondary Plan* was revised through the Ontario Land Tribunal; the text below encompasses the changes pertaining to 2187 Gordon Street. The residence and barn on the property are identified in the Secondary Plan as



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cultural heritage resources (City of Guelph 2023: Schedule F). Under Section 11.3.4.1 Cultural Heritage, the following policies, taken verbatim, are applicable to the Study Area:

1. Cultural heritage resources within Clair-Maltby identified on Schedule F shall be considered for designation under Part IV of the Ontario Heritage Act, through, or prior to, the development approval process in accordance with the Ontario Heritage Act. Schedule F displays cultural heritage resources that area either designated under Part IV, Section 29 of the Ontario Heritage Act and/or are listed on the Municipal Register of Cultural Heritage Properties as of May 1, 2022. Revisions to the status of these cultural heritage resources made in accordance with the Ontario Heritage Act do not require amendment to this Plan.
2. The cultural heritage resources identified within Clair-Maltby, as well as development and site alteration on protected heritage properties, are subject to the policies of the Official Plan related to cultural heritage, in particular Section 4.8, Cultural Heritage Resources, in addition to the policies of the Clair-Maltby Secondary Plan.
3. Future development shall conserve identified built heritage resources or cultural heritage landscapes as they contribute to an understanding of agricultural history of this area of the City. Through the implementation of this Secondary Plan, it is the intent to evaluate, manage and conserve the existing cultural heritage resources that provide a link to the agricultural past of the area.
4. Cultural Heritage Resources Impact Assessments and Heritage Conservation Plans will be prepared and approved to guide the conservation of existing cultural heritage resources through development and shall consider mitigation options on a property specific basis consistent with Section 4.8 of the Official Plan.
5. Adaptive re-use of a built heritage structure or cultural heritage resources, alternative development approaches and avoidance protocols are preferred methods for conservation of resources.
6. Development and site alteration on protected heritage properties or adjacent protected heritage properties will be designed to adopt an architectural vocabulary and design elements that are compatible with, and respectful of, the cultural heritage value or interest of the property.

(City of Guelph 2023: 52-53)

Within the Secondary Plan, on Schedule A: Community Structure, the Study Area is located within the Gordon Street Corridor and includes areas of mixed-use, residential, and a natural heritage system (Figure 2-1). The proposed structure for the Gordon Street Corridor is as follows (verbatim text):

4. The Gordon Street Corridor as identified on Schedules A, B and D will be an integrated, compact and mixed-used district that provides opportunities to live and work close to services. It will provide a range of built form conditions, varying along the corridor to protect, highlight and give



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prominence to the Natural Heritage System, areas of significant topography, and cultural heritage resources, while allowing for vibrant urban development to occur at transit-supportive densities. The Gordon Street Corridor will accommodate the highest density in Clair-Maltby anchored by the Urban Village Core and its Main Street Area. Direct access from local roads and individual properties may be permitted where it can be demonstrated that such direct access does not interfere with the primary function of the corridor. The Gordon Street Corridor will also include:

- a) areas with taller residential and/or mixed-use buildings; and
- b) areas where the existing Natural Heritage System and cultural heritage resources are protected.

(City of Guelph 2023: 44)

The Gordon Street Corridor will have an approximate width of 120 metres on each side of the Gordon Street right-of-way. The following built form and urban design policies from Section 11.3.8.3 are applicable to the Study Area (verbatim text):

- 1b. front façades of buildings along Gordon Street will form a continuous urban built form edge that front and face Gordon Street outside of areas of natural and cultural heritage significance;
2. The design of the Gordon Street Corridor will highlight and give prominence to the significant areas of Natural Heritage System, open space and cultural heritage resources which are located within and between the development areas. These areas will become key features of the Gordon Street Corridor's character.

(City of Guelph 2023: 73)

On Schedule B: Land Use, the residence and barn are within the Clair-Maltby High Density Residential area, within the Gordon Street Corridor. Under Section 11.3.8.6.4 of the Secondary Plan, the Clair-Maltby High Density Residential designation has the permitted use as a “multiple unit residential buildings” (City of Guelph 2023: 77).

Regarding height and density, the following criteria are proposed (verbatim text):

3. Within the Gordon Street Corridor the minimum height is three (3) storeys and the maximum height is designated on Schedule D.
4. Outside of the Gordon Street Corridor the minimum height is three (3) storeys and the maximum height is ten (10) storeys.
5. The maximum net density is 250 units per hectare and not less than a minimum net density of 100 units per hectare.(City of Guelph 2023: 58)



Methodology

2.2 FIELD PROGRAM

Site assessments of the Study Area were undertaken on April 8, 2022, and December 14, 2023, by David Waverman, Senior Landscape Architect, and Kimberley Carroll, Landscape Architect Intern, both with Stantec. Internal assessments of both the barn and residence were not completed due to unsafe conditions. The purpose of the site assessments was to confirm the existing conditions of the residence and barn since the completion of the 2019 CHER. The weather conditions were cool and partly cloudy.

2.3 ASSESSMENT OF IMPACTS

The assessment of impacts is based on the impacts defined in the MCM Infosheet #5. Impacts to heritage resources may be direct or indirect.

Direct impacts include:

- *Destruction of any, or part of any, significant heritage attributes or features*
- *Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance*

Indirect impacts do not result in the direct destruction or alteration of the feature or its heritage attributes, but may indirectly affect the CHVI of a property by creating:

- *Shadows that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden*
- *Isolation of a heritage attribute from its surrounding environment, context or a significant relationship*
- *Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features*
- *A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces*
- *Land disturbances such as a change in grade that alters soil, and drainage patterns that adversely affect an archaeological resource*

(Government of Ontario 2006)

2.4 CONSERVATION OPTIONS

In addition to providing a framework to assess the impacts of a proposed undertaking, the MCM Infosheet #5 also provide methods to minimize or avoid impacts on cultural heritage resources.

These include, but are not limited to:

- *Alternative development approaches*



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- *Isolating development and site alteration from significant built and natural features and vistas*
- *Design guidelines that harmonize mass, setback, setting, and materials*
- *Limiting height and density*
- *Allowing only compatible infill and additions*
- *Reversible alterations*
- *Buffer zones, site plan control, and other planning mechanisms*

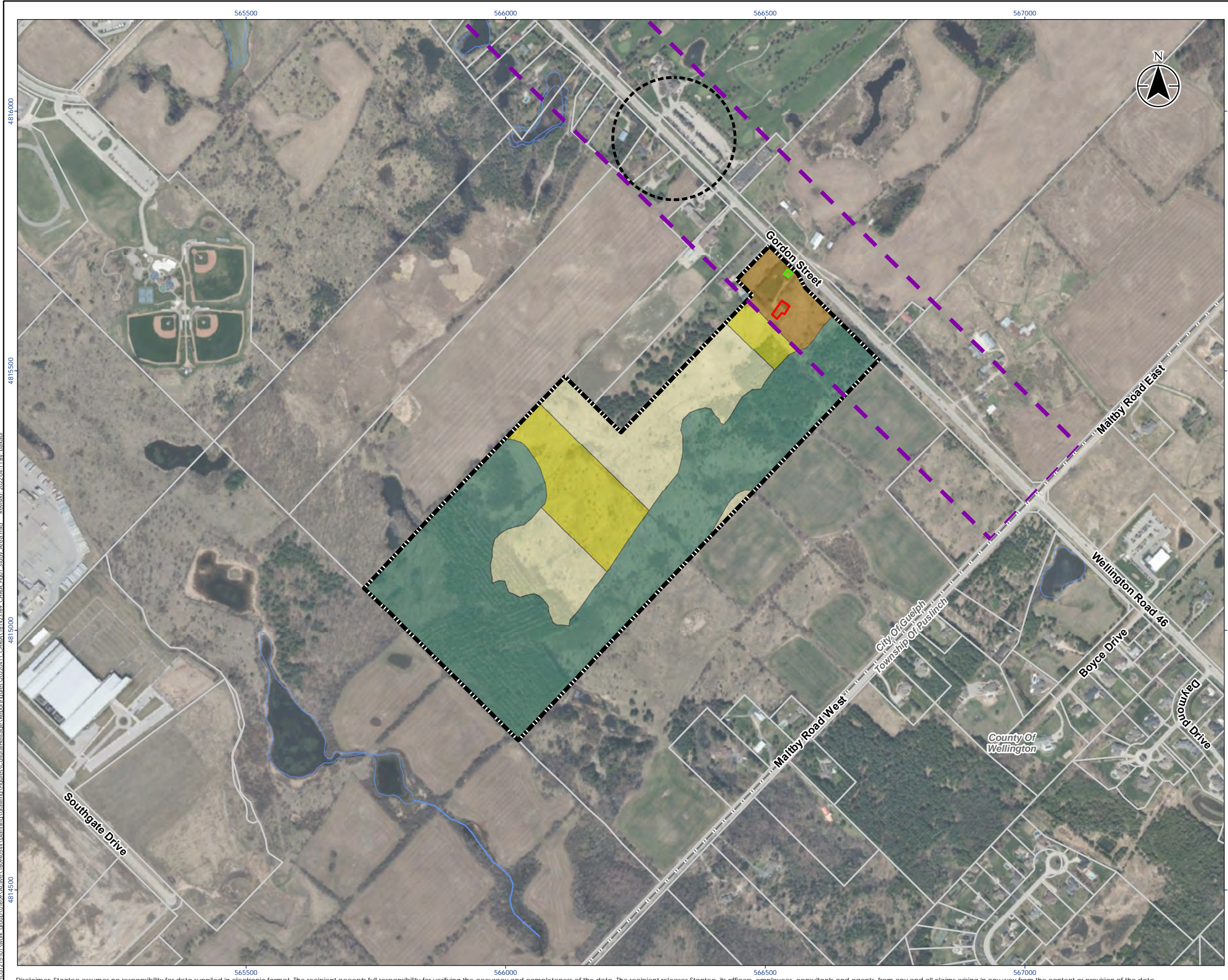
(Government of Ontario 2006)

The City's guidelines also include conservation options to minimize or avoid impacts to cultural heritage resources. The guidelines recommend that conservation option be based on the determination of the significance of the cultural heritage resources, and their importance to the community, and take into consideration existing federal, provincial, and municipal policies and standards as appropriate. The guidelines request that the 'pros' and 'cons' of each conservation option be clearly identified, and a preferred option recommended. Conservation options include:

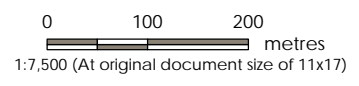
- Avoidance mitigation:
 - Preservation/conservation
 - Adaptive re-use
 - Alteration
- Salvage mitigation:
 - Relocation
 - "Ruinification"
- Symbolic conservation
- Photographs
 - Architectural drawings
 - Key plan
 - Maps/Aerial photographs
 - Deeds and Title Searches
 - Other

(City of Guelph 2010)

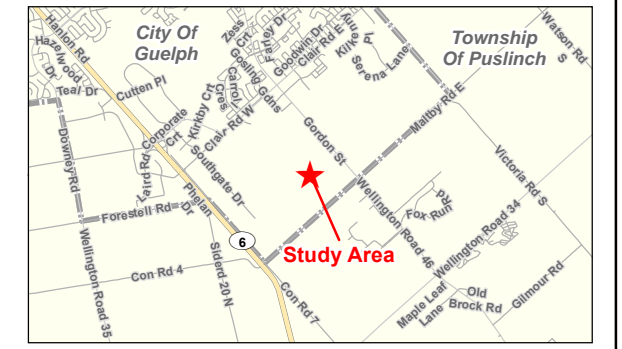




- Legend**
- Study Area
 - Watercourse
 - Barn
 - Gordon Street Corridor
 - Municipal Boundary - Lower Tier
 - Municipal Boundary - Upper Tier
 - Property Parcel
 - Residence
 - Urban Village Core
 - Waterbody
- Secondary Plan, Schedule B Landuse**
- Clair-Maltby High Density Residential
 - Low Density Greenfield Residential
 - Medium Density Residential
 - Significant Natural Areas



- Notes**
1. Coordinate System: NAD 1983 UTM Zone 17N
 2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2022.
 3. Orthoimagery © First Base Solutions, 2022. Imagery Date, 2017.
 4. Property Parcel dataset and City of Guelph Official Plan B: Clair Maltby Secondary Plan Landuse, from City of Guelph.



Project Location: City of Guelph, ON
 Prepared by KB on 2022-04-11
 Technical Review by BC on 2022-04-11

Client/Project: MATTAMY HOMES
 2187 GORDON STREET

Figure No.: 2-1

Title: Secondary Plan, Schedule B

2187 GORDON STREET, CITY OF GUELPH, ONTARIO, CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT

Statement of Cultural Heritage Value or Interest

3.0 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The following Statement of Cultural Heritage Value or Interest for the property is included below verbatim from the Staff Report: 2187 Gordon Street: Notice of Intention to Designate (City of Guelph 2023).

3.1 STATEMENT

3.1.1 Statement of Significance

The subject property is worthy of designation under Part IV, Section 29 of the Ontario Heritage Act because it meets six of the prescribed criteria for determining cultural heritage value or interest, according to Ontario Regulation 9/06 as amended by Ontario Regulation 539/22. The heritage attributes of 2187 Gordon Street display: design or physical, historical or associative, and contextual value.

3.1.2 Design/Physical Value

The Kidd barn at 2187 Gordon Street meets Criterion 1 because it exhibits design or physical value as it is an early and rare example of a stone slot bank barn built by 1842. The stone slot bank barn was constructed using local fieldstone with slots in the walls. This building is now the only one of its kind within the City of Guelph. The Blair farmhouse at 2187 Gordon Street meets Criterion 1 exhibiting design value or physical value because it is an early and rare example of a material or construction method in its use of formed concrete for wall construction in a rural residential building. The Kidd barn at 2187 Gordon Street meets Criterion 2 because it exhibits design or physical value as it displays a high degree of craftsmanship that is rarely preserved. The constructors utilized local materials including fieldstone in the immediate vicinity and the implementation of slots was at that time practical and highly efficient in maintaining the structural integrity of the barn.

3.1.3 Historical/Associative Value

The Kidd barn at 2187 Gordon Street meets Criterion 4 because it exhibits hand historical or associative value as it is linked with the Kidd family who occupied the property from the mid to late 19th century. James Kidd settled in the Township of Puslinch in 1830 and contributed to the agricultural community at the time. Agriculture was integral to the local economy during this time and the Kidd and Blair families were active within Wellington County's agricultural trade. The Blair farmhouse at 2187 Gordon Street meets Criterion 4 because it exhibits historical or associative value as it is connected to the Blair family, an early settler of the Puslinch area. The Blair family had farms on both sides of Gordon Street and emigrated from Scotland in the 1870s. The family was well known for their extensive orchards.

3.1.4 Contextual Value

The Kidd barn and Blair farmhouse meet Criterion 7 because it is important in defining, maintaining or supporting the character of the area. The Kidd Barn and Blair farmhouse support the agricultural



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Statement of Cultural Heritage Value or Interest

landscape of the surrounding area. The property maintains and defines the surrounding use for agricultural use as it was over the past two centuries.

The Kidd barn at 2187 Gordon Street meets Criterion 8 because it is physically, visually and historically connected with the adjacent mid to late 19th century property at 2162 Gordon Street, identified as the Marcolongo Farm, a protected cultural heritage landscape. The Kidd Barn was built into the bank and retains its function in the specific location on the barn in the landscape. The property is associated with the Blair family and represents a rural agricultural grouping along Gordon Street.

The John Blair farmhouse at 2187 Gordon Street meets Criterion 8 exhibiting contextual value because it is historically linked to its surroundings. James Blair, a Scottish immigrant to Puslinch Township bought the farm located across the road from the Kidd farm in the 1870s. Blair's son William G. Blair, purchased the subject property in 1906 and his brother John Blair built the formed concrete house at 2187 Gordon Street in 1907. John and his wife Mina (Hunt) Blair lived in the farmhouse for more than fifty years.

The Kidd barn and Blair farmhouse at 2187 Gordon Street meet Criterion 9 because they are landmarks along Gordon Street as people move north further into city limits. 2187 Gordon Street has been visible along Gordon Street, formerly Brock Road, for decades. The position of the barn and farmhouse in comparison to Gordon Street provides a clear view of the property from the roadway.

3.1.5 Heritage Attributes

The following elements of the property at 2187 Gordon Street should be considered as heritage attributes in a designation under Part IV, Section 29 of the Ontario Heritage Act:

James Kidd Barn

Stone slot bank barn

- Three door openings on the south (lower) wall and the upper door in the south wall.
- Original form of the bank barn with an end gable roofline and single-storey north wall and 2-storey south wall.
- Location and orientation of the stone bank barn to maintain the building as being built across a slope.
- Exterior and interior of all extant stone walls of the slot bank barn.
- All original slot ventilation openings and window and door openings seen in exterior and interior of extant stone walls (west gable wall, east gable interior wall and the two-storey south wall).

Heavy timber bank barn addition

- Original form of the heavy timber bank barn addition with its gable roofline and single-storey north wall and 2-storey south wall.



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- Location and orientation of the heavy timber bank barn addition to maintain the building as being built into the slope.
- Vertically oriented exterior wood board cladding
- Extant cutouts in vertical boards of the upper north and south gable walls that create the shape of a Florian cross.
- Original heavy timber framing members – including pole rafters, and hand-hewn posts and beams and original joinery.
- Tape pointed stone wall exterior of lower level.
- Imbrication pattern created by pressed metal sheets cladding the roof.

Blair Farmhouse

- Original 2-storey form of the house with a hip roof and L-plan.
- Exterior walls constructed of formed in place concrete covered with a render that is incised with a pattern that mimics ashlar stone. It is intended that non-original features may be returned to the documented earlier designs or to their documented original without requiring City Council permission for an alteration to the design.



4.0 DOCUMENTATION OF EXISTING CONDITIONS

4.1 INTRODUCTION

A detailed description of the site is contained in the 2019 CHER. A site visit was conducted by Stantec on April 8, 2022, and December 14, 2023, to confirm the existing conditions of the heritage attributes identified in Section 3.1.5. A condensed site description follows on the heritage attributes related to the residence and barn have been provided for the purposes of this CHRIA. The property including the residence and barn are currently vacant. Metal chain-link fencing was installed around the exterior of the barn as a safety measure.

4.2 RESIDENCE

4.2.1 Exterior

The residence is a two storey structure with a medium-pitched hip roof that is clad with metal and has a metal chimney (Photo 4-1 to Photo 4-4). The structure has an L-shaped plan with a rear addition and wide eaves. The structure has a concrete exterior with stone and concrete decorative elements including concrete corner quoins, limestone lintels, and concrete sills. Most of the exterior windows have been replaced with modern metal multi-pane casement and fixed windows. The exterior retains four 1/1 wood single-hung windows. The basement has wood hinged windows set within stone window wells on the front (east) and north elevations. The front elevation has a covered partial porch with a metal clad roof, wood column on a concrete base, and a wood railing. The residence has a stone foundation.



Photo 4-1: Front (east) elevation looking west



Photo 4-2: South elevation looking north



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Documentation of Existing Conditions



Photo 4-3: West elevation looking east



Photo 4-4: North elevation looking south

4.3 BARN

4.3.1 Exterior

The barn is a timber frame structure with vertical barnboard siding (Photo 4-5 to Photo 4-10). The structure has an attached stone tail, that is the original mid-19th century portion of the barn. The overall structure has an L-shaped plan with a cross gable roof that is clad in decorative tin. The bank barn is set within a slope with a stone foundation. The corners of the stone foundation have large stone quoins.

The timber frame portion of the barn contains a threshing floor on the upper storey and horse stables on the lower storey. The stone tail includes storage area on its upper storey and horse stalls, general horse feeding areas, and storage areas on its lower storey. The north elevation of the barn includes large wood doors on the timber frame portion that slides to provide access to the interior upper levels (Photo 4-6 and Photo 4-7). The north elevation door is on modern door tracks and hanger components. The gable peaks of the north and south elevations of the timber frame portion contains decorative wood cut-outs including two symmetrically placed wood cut-outs that resemble Saint Florian's cross, and a centrally placed cut-out in the peak that mirrors the roofline. The lower storey of the barn has wood frame windows, while the upper storey of the stone tail has narrow vertical slit windows (Photo 4-8). The lower storey also has wood frame doors. The doors on the timber frame portion have wood lintels with wood doors. The stone tail has stone lintels, and one opening retains a wood door. The north elevation foundation wall and upper wall of the stone tail have collapsed, however the south and east elevations remain intact (Photo 4-9 and Photo 4-10, and Section 4.3.2 for more information).



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Documentation of Existing Conditions



Photo 4-5: North elevation looking south



Photo 4-6: North elevation looking southwest



Photo 4-7: North elevation looking east



Photo 4-8: West elevation looking east



Photo 4-9: South elevation looking north



Photo 4-10: East elevation looking west



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Documentation of Existing Conditions

4.3.2 Barn Condition Assessment

A series of condition assessment were completed for the barn between 2018 and 2024 (see Appendix B and Appendix C). The most recent, *Barn – Structural Condition Assessment 2187 Gordon Street, Guelph, Ontario*, was prepared January 23, 2024, by MTE Consultants Inc. (see Appendix D). The report concluded that overall, the barn is unsafe in its present condition. The report discusses the decline in structural condition, and the several compromised areas. It is noted that the barn in this condition is not safe for occupancy. The report further noted that the north stone walls, both upper and basement, have collapsed as well as the partial collapse of the main floor framing. The steel roof has lost support, and is now cantilevered, and at risk of collapse. The remaining stone walls are likely to be weakened due to the north wall collapse. The report also noted that it was unsafe to enter and verify the condition of the floor beams, therefore their condition is unknown (MTE Consultants Inc. 2024).

In the timber frame portion of the barn, the report noted the southwest corner to be in very poor condition. This includes the floor beams and floorboards, wall girts and roof beams. The report notes the roof beam and wall girts have rotted, which has compromised the capacity. The structural engineer noted that due to the post misalignment and deterioration, there is potential the southwest portion will become unstable and collapse. The report indicates installing bracing and shoring would put workers at risk due to the barns vulnerability. The report also notes that there are several other rotted beams, and a potential for cracked lintels in the foundation wall exterior to collapse if the wood framing becomes dislodged (MTE Consultants Inc. 2024).



Impact of the Proposed Development

5.0 IMPACT OF THE PROPOSED DEVELOPMENT

5.1 DESCRIPTION OF THE PROPOSED UNDERTAKING

The Proponent is proposing to develop the property in connection with the Secondary Plan and MESP. The Proponent as part of the residential development, is proposing removal of the residence and barn. In absence of site plans for the property, the proposed removal and impact assessment is based on the Secondary Plan and MESP, the *2187 Gordon Street Conceptual Grading Review* prepared by MTE Consultants Inc. in 2024 (MTE Memo, see Appendix E), and the *Impacts of Existing Barn & Dwelling on the Implementation of the Clair-Maltby Secondary Plan, 2187 Gordon Street, Guelph*, prepared by GSP Group in 2024 (GSP Group Memo, see Appendix F).

The purpose of the MTE memo was to review conceptual grading and assess whether the residence and barn could remain *in situ* under development conditions with the recommendations of the Clair-Maltby MESP. The MESP determined the overall preferred servicing strategy for the Clair-Maltby community including the Study Area, as Alternative 5, which combines at-source stormwater controls such as Low Impact Development infrastructure and infiltration, along with end-of-pipe stormwater capture areas. Within the Study Area, the property is to be drained to a stormwater management facility located centrally within the storm catchment area, at a proposed elevation of 338 metres (m).

The barn is located at grades ranging from 343 m on the north side to 340.5 m on its south side. The residence is located at grades ranging from 345.9 m on the north side to 345.4 on the south side. The residence and barn are significantly below the grade of Gordon Street, which ranges in elevation from 345.9 m to 348.2 m. To allow for the stormwater drainage following Alternative 5 and the criteria in the MESP, the barn and the residence would be required to be 0.5 m higher than the centreline of Gordon Street, with elevations ranging from 346.4 m to 348.6 m. The area around the barn would require fill up to 348.7 and sloped from south to north, as well as west to east towards Gordon Street. If the barn is kept in situ, it will be graded into a low point, without an outlet, and flooding at the base of the barn is a possibility. The MTE memo states that, "Without this grading, the planning objectives of the Gordon Street Strategic Growth Area and criteria recommended in the MESP such as stormwater management, servicing, and road grading, would not be possible without the removal of the barn and house (MTE Consultants Inc. 2024: 2).

The MESP also determined the preferred sanitary servicing alternative as the Southgate Hanlon Trunk, which means the Study Area would be served by a local sanitary sewer that would run south to north along Gordon Street. The MTE Memo notes that this sewer is assumed to be designed to the minimum cover as per the City standards (2.7 m depth) in order to minimize costs and maintain a standard urban right-of-way cross-section. The memo indicates that this results in sanitary sewer obverts in the area ranging between 345.3 and 343.3 m, which is significantly higher than the current Study Area grade. The memo notes that without any significant grading in the Study Area, the sanitary sewer would need to have an obvert of 337.8 m, resulting in sanitary sewer grades up to 10 m deep along Gordon Street, which would result in significant addition costs (MTE Consultants Inc. 2024: 2).



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Impact of the Proposed Development

The MTE Memo recommends the removal of the residence and barn to accommodate the storm and sanitary servicing in accordance with the preferred servicing strategies outlined in the MESP (MTE Consultants Inc. 2024: 3).

The GSP Memo provides comment to the relevant cultural heritage policies and schedules of the draft Clair-Maltby Secondary Plan Official Plan Amendment with respect to the Study Area. As indicated in Section 2.1.5, the residence and barn are situated within the Clair-Maltby High Density Residential land use area within the Gordon Street Corridor, that requires a density range between 100-250 units per hectare. The GSP Memo notes that this area on the property is approximately 2.4 hectares, and if this area is not able to be developed due to the protection of the residence and barn *in situ* based on existing topography this could result in a reduction in 200 to 600 units and therefore not able to contribute to meeting the density targets and planned function proposed to be achieved in the Secondary Plan (GSP Group 2022: 4).

5.2 ASSESSMENT OF IMPACTS

Impacts are defined by Info Sheet #5, as discussed in Section 2.3. Table 5.1 and Table 5.2 contain a discussion of impacts as defined in Info Sheet #5. In the Impact Anticipated column, 'Y' is used when impacts are anticipated, and when no impacts to cultural heritage resources are anticipated, 'N' is listed in the column.

Table 5.1: Evaluation of Potential Direct Impacts

Direct Impact	Impact Anticipated	Relevance to 2187 Gordon Street
Destruction of any, or part of any, <i>significant heritage attributes</i> or features.	Y	The proposed undertaking will result in the removal of the residence and barn. All heritage attributes will be directly impacted. Accordingly, mitigation measures must be prepared.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	N	The proposed undertaking will involve the full removal of the residence and barn, and thus no alteration impacts are anticipated. Therefore, no mitigation measures are required.

Table 5.2: Evaluation of Potential Indirect Impacts

Indirect Impact	Impact Anticipated	Relevance to 2187 Gordon Street
Shadows created that alter the appearance of a <i>heritage attribute</i> or change the viability of a natural feature or plantings, such as a garden	N	The proposed undertaking will not result in shadows that will indirectly impact 2187 Gordon Street. Rather, the residence and barn will be directly impacted through removal. Therefore, no mitigation measures are required.



**2187 GORDON STREET, CITY OF GUELPH, ONTARIO, CULTURAL HERITAGE RESOURCE
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Impact of the Proposed Development

Table 5.2: Evaluation of Potential Indirect Impacts

Indirect Impact	Impact Anticipated	Relevance to 2187 Gordon Street
Isolation of a <i>heritage attribute</i> from its surrounding environment, context or a <i>significant</i> relationship	Y	The proposed undertaking will result in the removal of the residence and barn, this will impact the physical, visual, and historical connection of the property with the adjacent 2162 Gordon Street. Accordingly, mitigation measures must be prepared.
Direct or indirect obstruction of <i>significant</i> views or vistas within, from, or of built and natural features	Y	The removal of the barn will impact the significant view of the built feature from Gordon Street, and its visual connection with the adjacent 2162 Gordon Street. Accordingly, mitigation measures must be prepared.
A change in land use such as rezoning a battlefield from open space to residential use, allowing new <i>development</i> or <i>site alteration</i> to fill in the formerly open spaces	N	A change in land use is proposed for 2187 Gordon Street. The proposed development will see the property transition to High Density Residential, Medium Density Residential, and Low Density Residential, with significant natural areas. However, this indirect impact will not apply with the removal of the residence and barn. Accordingly, mitigation measures must be prepared.
Land disturbances such as a change in grade that alters soil, and drainage patterns that adversely affect an <i>archaeological resource</i>	N/A	Indirect impacts resulting from land disturbances apply to archaeological resources, which are beyond the scope of this report. Archaeological assessments were completed on the property by Stantec, including Stage 1-2, 3, and 4 reports.

5.3 DISCUSSION OF IMPACTS

The proposed removal of the residence and barn will result in direct impacts to identified heritage attributes. Therefore mitigation measures are required to conserve their identified CHVI. The removal of these structures will also have the potential to indirectly impact the physical, visual, and historical connection of the structures with the adjacent property at 2162 Gordon Street. The removal of the barn will have the potential to indirectly impact the once historical landmark viewscape for travelers heading north on Gordon Street into the City. Therefore, mitigation measures are required to conserve the identified contextual CHVI and lessen visual impacts.



6.0 ALTERNATIVES AND CONSERVATION MEASURES

6.1 POTENTIAL CONSERVATION MEASURES

As identified in Section 5.0, the proposed undertaking has the potential to result in direct and indirect impacts to identified CHVI associated with the residence and barn. Accordingly, the mitigation options identified in InfoSheet #5 Mitigation Options and the City's Guidelines (see Section 2.4) have been explored below. Consideration for each option is given for both the appropriateness of the mitigation in the context of the CHVI identified, the Secondary Plan, and its associated feasibility. Also considered is an understanding of the surrounding context within which the Study Area is located.

6.2 AVOIDANCE MITIGATION

6.2.1 Retention/Preservation

Generally, retention *in situ* is the preferred option when addressing any structure where CHVI has been identified, even if limited. The benefits of retaining a structure, or structures, must be balanced with site-specific considerations. Not only must the CHVI be considered, so too must the structural condition of the heritage resource, the proposed undertaking, and the context within which the structure, or structures, would be retained. Recognizing the need for balance is an important step in consideration of the preferred mitigation options.

As indicated in Section 5.1 and the MTE Memo, it is not feasible to retain the residence and barn *in situ* and accommodate the storm and sanitary servicing requirements in accordance with the preferred servicing strategies outlined in the MESP.

As indicated in the GSP Memo, retention of the structures *in situ* would also conflict with the density targets proposed in the Secondary Plan, as they are situated within the Clair-Maltby High Density Residential land use area within the Gordon Street Corridor. This puts the heritage attributes as identified in the NOID in direct conflict with the servicing, density, and planned function of the property, as outlined by the City within the Secondary Plan. While conservation of cultural heritage resources is recommended within the Secondary Plan, the Plan does not respond to this inherent conflict. As such, it is understood that retention *in situ* is not a feasible mitigation strategy, and the next alternative of adaptive reuse is examined.

6.2.2 Adaptive Re-Use

As it was determined that retaining the residence and barn *in situ* is not feasible while adhering to the Secondary Plan, adaptive re-use in their existing locations was not examined. Instead, adaptive re-use is explored through relocation (see Section 6.3.1).



Alternatives and Conservation Measures

6.3 SALVAGE MITIGATION

6.3.1 Relocation

Where retention *in situ* is not feasible or preferred, relocation is often the next option considered to mitigate the loss of a heritage resource. As with retention, relocation of a structure or structures must be balanced with the CHVI identified. Relocation removes the resource from its contextual setting but allows for the preservation of noteworthy heritage attributes, particularly those identified to be of design or physical value. This is a viable option where the CHVI identified merits preservation and the integrity of the structure is determined to be sound.

The Proponent intends to pursue the viability of the following options:

- a) Relocation of the residence elsewhere on the property for adaptive re-use.
- b) Relocation of the residence to another Proponent owned property, preferably in the City for adaptive re-use.
- c) Offering the residence to the City for relocation on City lands, and adaptive re-use under City ownership.
- d) Advertising the sale of the residence on the open market with the condition that the buyer must pay for the relocation costs. The residence could be advertised for sale in City newspapers, or on the Architectural Conservancy of Ontario website.

If all of the above options are determined not to be feasible, then the Proponent will proceed with the next mitigation option of documentation and salvage for the residence.

For the barn, given its size and poor structural condition (Appendix), full relocation of the structure is not a feasible option. However, partial relocation of the barn is a viable option. A portion, or portions, of the barn could be dismantled, relocated, and reassembled within publicly owned lands. The portion or portions selected for relocation will need to be manageable sized sections of key heritage attributes that can be properly and carefully relocated and reassembled. Efforts to relocate larger portions of the barn present future risks, such as health and safety, Crime Prevention Through Environmental Design, long term maintenance, and vandalism. The remaining portions of the barn will be documented and salvaged with commemoration as per Section 6.3.3.

The partial relocation of the barn would help to maintain a historical connection between the property and the barn. Partial relocation options could include a portion of the upper storey of the timber frame structure or upper storey of the stone tail. This partial relocation allows for consideration of creative opportunities to create a unique feature within the development that could be connected to the history of the property through additional documentation and salvage and commemoration.



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Alternatives and Conservation Measures

Prior to the partial relocation, the portion or portions selected for relocation will need to be documented, numbered, and labelled. Following the deconstruction of the portion or portions, they will need to be stored and protected until the reconstruction can be undertaken in coordination with the Commemoration Plan and the proposed development.

The following are companies that could be considered for the partial relocation:

- Tacoma Engineers Inc.
176 Speedvale Avenue West
Guelph, ON N1H 1C3
Website: <https://tacomaengineers.com/index.php>
- Circle Rock Reclaimed Wood
90242 Toll Gate Line
Clifford, ON N0G 1M0
Website: <http://www.circlerockinc.com/contact.htm>
*website includes barn relocation services
- Rustic and Reclaimed
5180 Highway 6
Caledonia, ON N3W 2A1
Website: <https://rusticandreclaimed.ca/>
- Royal Masonry
6 Brown Thrasher Court
Elmira, ON N3B 1A1
Website: <https://royalmasonry.ca/>
- HFH Inc.
6006 Highway 6
Ennotville, ON N0B 1S0
Website: <https://www.hfhinc.ca/>
- Dutch Masters Design & Construction Services
664 Penetanguishene Road
Springwater, ON L9X 1Y9
Website: <http://www.dutchmasters.on.ca/horse-barn-restorations/>

6.3.2 Ruinification

Ruinification allows for the exterior of a cultural heritage resources to stand as a monument (City of Guelph 2010). This approach is often used where adaptive reuse is not viable given the building use or structural condition *and* the building has been determined to feasibly be retained *in situ*. In some cases, it



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Alternatives and Conservation Measures

is also employed where the structural condition is such that a building will not withstand relocation. This is not a viable option for the residence as it would significantly impact its identified CHVI through removal of most heritage attributes. In the case of the barn, ruinification it is not a viable option as it was determined it could not be retained *in situ*.

6.3.3 Documentation and Salvage with Commemoration Plan

Detailed documentation and salvage is often the preferred mitigation strategy where alteration or demolition of a heritage resource is anticipated. Documentation creates a public record of the resource, or resources, which provides researchers and the general public with a land use history, construction details, and photographic record of the property where permanent changes will occur. The proposed development considers permanent direct impacts to the residence, barn, and their contextual value to the Gordon Street streetscape. Although documentation and salvage would not lessen the impact of these alterations, it would seek to record the CHVI identified making the buildings and streetscape available for future study. Documentation activities are typically carried out through photography, photogrammetry, videography, and/or LiDAR scan. Documentation would be carried out in advance of any changes made to the property.

In addition, the salvage of re-usable building materials is often recommended when a historical building is facing demolition. In the case of the barn, given that the structure was constructed using hand hewn beams, mortise, and pins, these materials could be salvaged and reused within the development for commemoration purposes with an element of education. Historical building materials are also often high-quality and can be re-used in other buildings. Through the selective salvage of identified heritage attributes and other materials, the CHVI of a property can be retained, if in a different context. Salvage acknowledges the heritage attributes in their current context and, where feasible, allows for reuse. Salvage activities should consist of the identification and recovery re-useable materials by a reputable salvage company or charity such as:

- The Timeless Materials Company
305 Northfield Drive East
Waterloo, ON N2V 2N4
Website: <https://www.timelessmaterials.com/>
- Rustic and Reclaimed
5180 Highway 6
Caledonia, ON N3W 2A1
Website: <https://rusticandreclaimed.ca/>
- Historic Lumber
12478 Sixth Line Nassagaweya
Acton, ON L7J 2L7
Website: <https://www.historiclumber.ca/>



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Alternatives and Conservation Measures

A Commemoration Plan is often prepared as part of the documentation and salvage process. The Commemoration Plan identifies options to recognize the CHVI associated with the site and provide strategies to guide the integration of salvaged elements into the design of the new development. A commemorative display with the property histories and use of salvaged materials are typically included in public areas of a development as part of a commemoration plan.

More recent interactive examples include incorporation of 3D imagery developed as part of the Documentation and Salvage process in a virtual or iterative display. The use of historic materials in publicly owned spaces, including parks spaces facilitate effective commemoration activities.

Additionally, commemoration activities may include public involvement to guide activities and build upon the established histories of a place. This may range from the creation of an oral history related to a specific property or group of properties to participation in the preparation of commemorative signage. Given the design, historic, and contextual value identified in the CHER, the Commemoration Plan could consider the following interpretative elements:

- James Kidd and the Kidd family
- 19th century settlement and agricultural practices
- 19th century barn construction, including stone masonry and hand hewn beam construction
- William G. Blair, John Nichol Blair, and the Blair family
- The archaeological artifacts discovered during the archaeological assessments of the property
- The stone foundation to the rear of the property that potentially was a similar construction to the stone tail of the barn
- Edwardian design of the residence
- Its historical connection to Gordon Street (Brock Road) and 2162 Gordon Street
- Brock Road history

6.4 DISCUSSION OF ALTERNATIVES AND CONSERVATIONS

Following the City's Guidelines, an evaluation of the advantages and disadvantages of each proposed conservation option are included in Table 6.1.



Alternatives and Conservation Measures

Table 6.1: Summary of Advantages and Disadvantages of Available Conservation Options

Option	Feasibility	Advantages	Disadvantages
Retention <i>in situ</i>	Not feasible. As indicated in Section 5.1 and the MTE Memo, it is not feasible to retain the residence and barn <i>in situ</i> and accommodate the storm and sanitary servicing requirements in accordance with the preferred servicing strategies outlined in the MESP.	Retains the CHVI and heritage attributes of each property.	It is anticipated that should the buildings be retained <i>in situ</i> the buildings would remain in a mothballed state until a use could be determined. This would pose significant challenges to development of the site as directed by the Secondary Plan. Mothballing is a temporary solution to safeguard a structure for future use. Permanent mothballing is generally not recommended as buildings that are mothballed and unoccupied are at a greater risk of damage through vandalism, fire, or deterioration even when measures are put in place to stabilize and secure the structure. The retention of the barn <i>in situ</i> in its existing condition also poses healthy and safety concerns to any trespassers to the site.
Relocation	Feasible. The relocation of the residence may be feasible. Partial relocation of the barn is feasible.	Would have direct adverse impacts on some of the heritage attributes of the residence such as its stone foundation, stone window wells, and contextual value, while maintaining the majority of identified heritage attributes. Partial relocation of the barn would similarly impact most of the heritage attributes of the structure, while maintaining a representative amount for commemorative, visual, and educational purposes.	Loss of contextual connection of the residence with the property, 2162 Gordon Street, and the barn. Loss of a heritage resource from the City's Register and the Secondary Plan.
Documentation and Salvage with Commemoration Plan	Feasible.	Retains a visual record of the cultural heritage resources. Heritage attributes from the structures can be reused on site or recycled through a reputable salvage company. The identified heritage value can be commemorated through creative interpretative means in a Commemoration Plan.	Removal of the residence and barn from the Gordon Streetscape, and loss of contextual connection of the structures with 2162 Gordon Street. Loss of a heritage resource from the City's Register and the Secondary Plan.



Recommendations

7.0 RECOMMENDATIONS

7.1 RELOCATION

The retention of the residence and barn *in situ* is the preferred alternative from an exclusively heritage perspective as the heritage attributes contributing to identified CHVI of the residence and barn would be retained in their entirety. However, given the proposed undertaking and the findings of the Secondary Plan, MTE Memos, and GSP Group Memo, relocation is the next preferred alternative. The feasibility of this strategy for the residence to mitigate impacts associated with the proposed development should be examined by the Proponent in consultation with the City.

The Proponent intends to pursue the viability of the following options:

- a) Relocation of the residence elsewhere on the property for adaptive re-use.
- b) Relocation of the residence to another Proponent owned property, preferably in the City for adaptive re-use.
- c) Offering the residence to the City for relocation on City lands, and adaptive re-use under City ownership.
- d) Advertising the sale of the residence on the open market. The residence could be advertised for sale in City newspapers, or on the Architectural Conservancy of Ontario website.

If all of the above options are determined not to be feasible, then the Proponent will proceed with the documentation and salvage for the residence.

Partial relocation is a preferred option for the barn. This option should be coupled with a Commemoration Plan (see Section 7.2). A portion or portions of the barn shall be dismantled, relocated, and reassembled within publicly owned lands. Partial relocation options could include portions of the upper storey of the timber frame structure or the upper storey of the stone tail. A reputable barn contractor or heritage structural engineer with historical barn experience should be retained to undertake the partial relocation.

Prior to the partial relocation, the portion or portions selected for relocation will need to be documented, numbered, and labelled. Following the deconstruction of the portion or portions, they will need to be stored and protected until the reconstruction can be undertaken in coordination with the Commemoration Plan and the proposed development.



Recommendations

7.2 COMMEMORATION PLAN

A Commemoration Plan that includes documentation and salvage, if required, should be prepared for the residence (if applicable), and barn.

The Commemoration Plan shall include the following components:

- Prepare photo-documentation, videography, and/or 3D modelling to document the structure(s) and its original setting. The documentation may consider the standards of the National Park Services' Historic American Engineering Record in its approach and upon completion deposited in appropriate institutions or organizations, such as those listed in Section 7.4.
- Preparation of measured drawings of the existing conditions of the structure(s).
- Salvage identified heritage attributes for commemoration purposes within the proposed development. Remaining materials to be salvaged by a reputable salvage company to be reused elsewhere.
- Development of commemoration ideas to conserve the identified CHVI within the proposed development, such as landscape features, interpretative panels, street names, or entrance features.

7.3 CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT

The proposed undertaking is situated adjacent to 2162 Gordon Street, a designated property, and 2270 Gordon Street, a listed property on the City's Register. Given the proximity of these heritage properties to the proposed development, it is recommended the Proponent have a separate CHRIA prepared by a qualified heritage professional when a detailed draft plan is available to assess the impacts of the proposed undertaking on the adjacent heritage properties.

7.4 DEPOSIT COPIES

To provide for the retention of historic information, copies of this report should be deposited by 257590 Ontario Limited at a local repository of historic material. Therefore, it is recommended that this report be deposited at the following locations:

Guelph Public Library
100 Norfolk Street
Guelph, ON, N1H 4J6

City of Guelph, Heritage Guelph Committee
1 Carden Street
Guelph, ON, N1H 3A1



2187 GORDON STREET, CITY OF GUELPH, ONTARIO, CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT

References

8.0 REFERENCES

- City of Guelph. 2010. *The City of Guelph Cultural Heritage Resource Impact Assessment Guidelines*. Terms of reference on file at Stantec.
- City of Guelph. 2017. *Official Plan Amendment Number 48: Five-year Review*. Electronic Document: https://guelph.ca/wp-content/uploads/OPA48_FINAL_05October2017.pdf. Last accessed: April 29, 2022.
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- City of Guelph. 2023. *Staff Report: 2187 Gordon Street: Notice of Intention to Designate*. Electronic Document: [filestream.ashx \(escrībemeetings.com\)](filestream.ashx(escrībemeetings.com)). Last accessed: January 24th 2024.
- Government of Ontario. 1990. Planning Act, R.S.O. 1990, c. P. 13. Electronic Document: <https://www.ontario.ca/laws/statute/90p13>. Last accessed: April 20, 2022.
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- GSP Group. 2024. *Impacts of Existing Barn & dwelling on the Implementation of the Clair-Maltby Secondary Plan, 2187 Gordon Street, Guelph*. Memorandum on file at Stantec.
- MTE Consultants Inc. 2024. *Re: Barn – Structural Condition Assessment 2187 Gordon Street, Guelph, Ontario*. Memorandum on file at Stantec.
- MTE Consultants Inc. 2024. *2187 Gordon Street Conceptual Grading Review*. Memorandum on file at Stantec.
- Stantec Consulting Ltd. 2019. *2187 Gordon Street, City of Guelph, Ontario – Cultural Heritage Evaluation Report*. Report on file at Stantec.



**APPENDIX A – STANTEC – 2187 GORDON
STREET – CULTURAL HERITAGE
EVALUATION REPORT**



**2187 Gordon Street, City of
Guelph, Ontario - Cultural
Heritage Evaluation Report**

February 22, 2019

Prepared for:

257590 Ontario Ltd.
433 Steeles Avenue East
Milton ON L9T 8Z4

Prepared by:

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APPENDIX A – Structural Assessment



Executive Summary

257590 Ontario Ltd. retained Stantec Consulting Ltd. (Stantec) to prepare a Cultural Heritage Evaluation Report (CHER) for the property located at 2187 Gordon Street, in the City of Guelph, Ontario. The property is listed on the *Municipal Register of Cultural Heritage Properties* (the Register) prepared by City of Guelph (the City). The property is listed on the Register as containing a circa 1910 Edwardian residence and a circa 1850 barn. The property is situated within the ongoing *Clair-Maltby Secondary Plan* and *Master Environmental Servicing Plan Study*. This plan and study are for the last unplanned greenfield area of the City. Within the plan and study, the property is considered as part of a proposed residential area. 257590 Ontario Ltd. is proposing to develop the property as part of the Clair-Maltby Secondary Plan. As the property is listed on the City's Register a CHER is required for the property in advance of considering potential development proposals. The purpose of the CHER is to determine whether the property demonstrates cultural heritage value or interest (CHVI).

Identification of CHVI was undertaken according to criteria outlined in *Ontario Regulation (O. Reg.) 9/06* made under the *Ontario Heritage Act*. The property was determined to have CHVI as it met three criteria under O. Reg. 9/06 (1i, 3ii and 3iii). The property includes a representative early 20th century residence with Edwardian design influences and a mid to late 19th century Ontario vernacular barn with a relatively rare stone tail. The property is also physically, visually, and historically connected with the adjacent 2162 Gordon Street, which includes a mid to late 19th century residence and barn. The property has landmark value for its bank barn which stands out in the Gordon Street viewscape travelling north into the City.

Therefore, should development plans to the property be proposed, it is recommended that a Cultural Heritage Resource Impact Assessment be prepared for the property, under the 2010 City of Guelph *Cultural Heritage Resource Impact Assessment Guidelines*.

The Executive Summary highlights key points from the report only; for complete information and findings the reader should examine the complete report.



Project Personnel

Project Manager: David Waverman, OALA, CSLA, CAHP

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Quality Reviewer: Meaghan Rivard, MA, CAHP

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Acknowledgements

Proponent Contact: Alexander Drung, Senior Land Development Manager, 257590
Ontario Ltd.



2187 GORDON STREET, CITY OF GUELPH, ONTARIO - CULTURAL HERITAGE EVALUATION REPORT

Study Purpose and Methods
February 22, 2019

Abbreviations

CHER	Cultural Heritage Evaluation Report
CHVI	Cultural heritage value or interest
km	Kilometres
m	Metres
MTCS	Ministry of Tourism, Culture and Sport
N	No
O. Reg.	Ontario Regulation
Y	Yes



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Study Purpose and Methods
February 22, 2019

1.0 STUDY PURPOSE AND METHODS

1.1 STUDY PURPOSE

257590 Ontario Ltd. retained Stantec Consulting Ltd. (Stantec) to prepare a Cultural Heritage Evaluation Report (CHER) for the property located at 2187 Gordon Street, in the City of Guelph, Ontario (Figure 1). The property is listed on the *Municipal Register of Cultural Heritage Properties* (the Register) prepared by City of Guelph (the City). The property is listed on the Register as containing a circa 1910 Edwardian residence and a circa 1850 barn.

The property is situated within study areas for the *Clair-Maltby Secondary Plan* and *Master Environmental Servicing Plan Study*. This plan and study are for the last unplanned greenfield area in the City. Within the plan and study, 2187 Gordon Street is within a proposed residential area. 257590 Ontario Ltd. is considering development of the property as part of the Clair-Maltby Secondary Plan. As the property is listed on the Register, a CHER has been prepared to inform potential development proposals. The purpose of the CHER is to determine whether the property demonstrates cultural heritage value or interest (CHVI) and if so, identify the heritage attributes which contribute to the value of the property.

1.2 METHODOLOGY

The preparation of this report will be guided by the Ministry of Tourism, Culture and Sport's (MTCS) InfoSheet #2 in *Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005* (Government of Ontario 2006a) (InfoSheet #2). This document uses *Ontario Regulation (O. Reg.) 9/06* for determination of cultural heritage value or interest (CHVI) and also provides guidance on the assessment of impacts based on CHVI resulting from a proposed change.

As per the guidance contained in InfoSheet #2, this report contains the following components:

- Detailed background history
- Site analysis based on a site assessment
- Evaluation of CHVI according to O. Reg. 9/06
- Statement of significance and identification of the heritage attributes of the cultural heritage resource, as necessary
- Summary statement and conservation recommendations

The Study Area, referred to throughout this CHER as the "property", is the municipal property boundary of 2187 Gordon Street, which contains a two storey 20th century Edwardian residence, a mid to late 19th century barn, an outbuilding, wood lots, and agricultural fields (Figure 2). The Study Area is situated in



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Study Purpose and Methods
February 22, 2019

close proximity to other listed properties on the Register, including 1949, 2093, 2162, and 2270 Gordon Street (Figure 3).

A site assessment of the Study Area was undertaken on November 20, 2018 by David Waverman, Senior Landscape Architect and Laura Walter, Cultural Heritage Specialist, both with Stantec. The weather conditions were cool and cloudy. Historical research was conducted at the Guelph Public Library, and supplemented with online resources including land title records, county directories, and census records.

1.3 ONTARIO REGULATION 9/06

The criteria for determining CHVI are defined by O. Reg. 9/06 (Government of Ontario 2006b). If a property meets one or more of the below criteria, then it may be considered for designation under Part IV of the *Ontario Heritage Act*.

In order to identify CHVI at least one of the following criteria must be met:

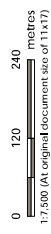
1. *The property has design value or physical value because it:*
 - i. *is a rare, unique, representative, or early example of a style, type, expression, material, or construction method*
 - ii. *displays a high degree of craftsmanship or artistic merit*
 - iii. *demonstrates a high degree of technical or scientific achievement*
2. *The property has historical value or associative value because it:*
 - i. *has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community*
 - ii. *yields, or has the potential to yield, information that contributes to an understanding of a community or culture*
 - iii. *demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community*
3. *The property has contextual value because it:*
 - i. *is important in defining, maintaining, or supporting the character of an area*
 - ii. *is physically, functionally, visually, or historically linked to its surroundings*
 - iii. *is a landmark*

(Government of Ontario 2006b)

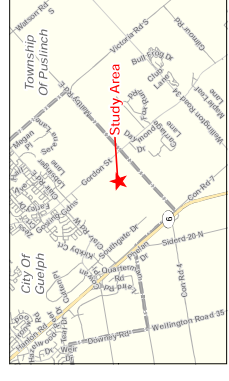




- Legend**
- Study Area
 - Municipal Boundary - Lower Tier
 - Municipal Boundary - Upper Tier
 - Waterbody
 - Watercourse
 - Identified Heritage Resources



Notes:
 1. Coordinate System: NAD 1983 UTM Zone 17N
 2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry
 3. Orthorectified 0.5m Res. 5440x5440. 2018 Imagery Data, 2017.

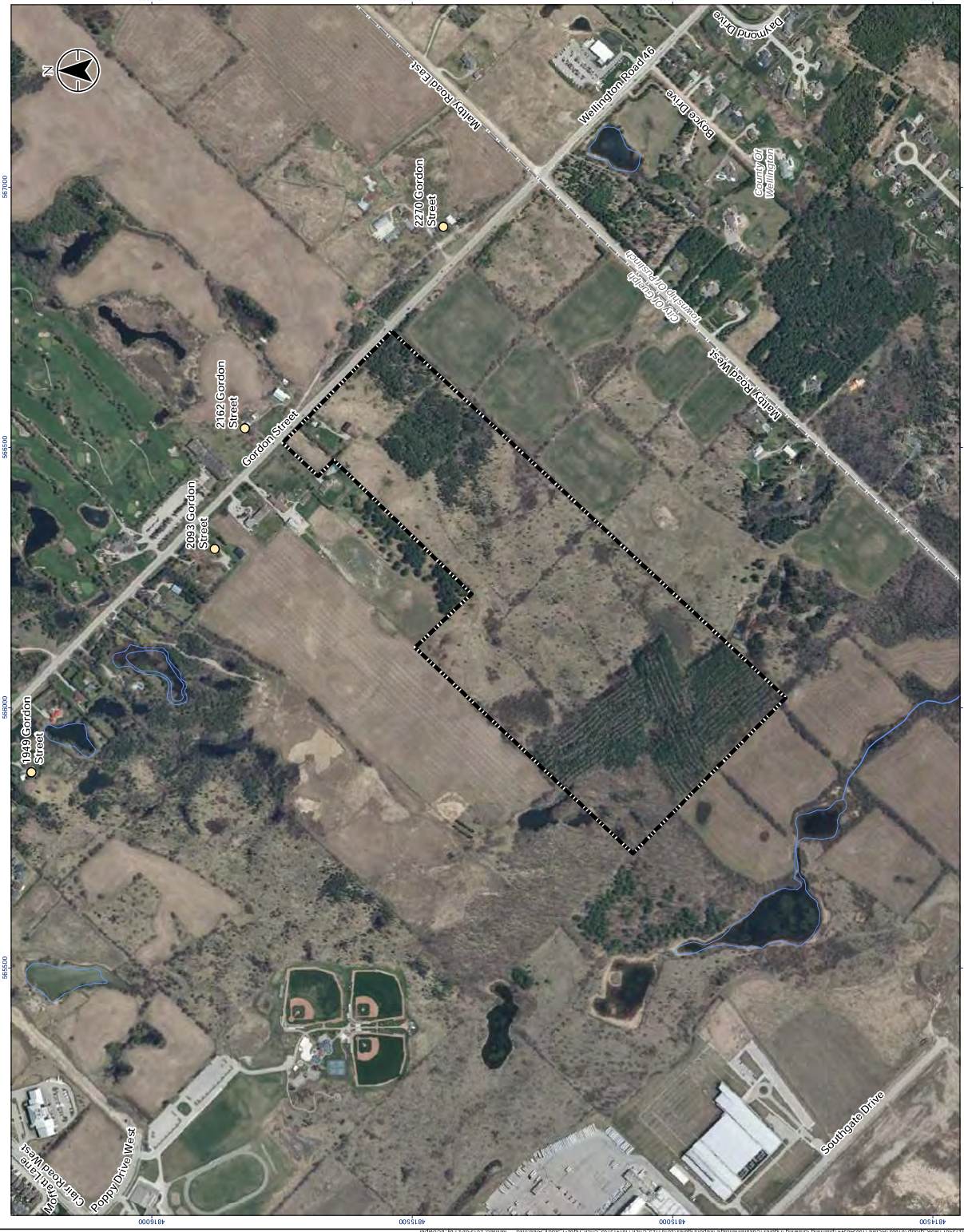


Project Location:
 City of Guelph, ON
 1614 13168 REV4
 Prepared by BCC on 2019-02-24
 Technical Review by MR on 2019-02-20

Client Project:
 257590 ONTARIO LTD.
 2187 GORDON STREET
 CULTURAL HERITAGE EVALUATION REPORT

Figure No. **3**

Title:
Study Area - Identified Heritage Resources



Disclaimers: Stantec assumes no responsibility for the accuracy of the data. The inclusion of names, dates, times, distances, or other information in any way from this document or map does not constitute an endorsement of the data.

Historical Developments
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2.0 HISTORICAL DEVELOPMENTS

2.1 INTRODUCTION

The Study Area is located on the west side of Gordon Street between Clair Road and Maltby Road. Gordon Street (formerly Brock Road) was historically a main thoroughfare into the City through the Township of Puslinch and remains today a busy route between Highway 401 and the City. The Study Area is situated on Part Lot 14, Concession 7, in the Township of Puslinch, now City of Guelph.

2.2 PHYSIOGRAPHY

The Study Area is located within the Horseshoe Moraines physiographic region and is characterized by a series of broad, horseshoe-shaped glacial moraines, which flank the uplands that lie to the west of the Niagara Escarpment. The physiographic region is surrounded by the Waterloo Hills to the west, Guelph Drumlin Field to the north, Peel Plain to the east, and Flamborough Plain to the South (Chapman and Putnam 1984: 113). Specifically, the Study Area is located on the Paris moraine, adjacent to the Galt moraine, and is part of an extensive moraine network in southern Ontario. The Paris Moraine was formed approximately 12,000-13,000 years ago, by the Ontario ice-lobe as it retreated into the Lake Ontario basin, and the Galt Moraine was deposited during a re-advance and stagnation of the Ontario ice lobe (Blackport Hydrogeology Inc. 2009: 56).

The Paris Moraine runs from Acton to Cambridge and is a high boulder ridge. Within the Township of Puslinch, it extends from Arkell in the east, across to Puslinch Lake in the west. At the community of Arkell the moraine is steep, at an elevation of 375 metres (m), the highest point in the township, and is also the broadest with a width of approximately five kilometres (km). The moraine slopes to the southwest, where it splits into two ridges (Head 1963: 11-12). The Galt Moraine runs south and parallel to the Paris Moraine. The Galt Moraine has a height of 335 m in the east and slopes to 300 m in the west. Both moraines are composed mostly of Wentworth Till that is brown to reddish silty sand or sandy silt till (Blackport Hydrogeology Inc. 2009: 56). Associated with the moraines is a system of old spillways with broad gravel and sand terraces and swampy floors.

Within the Township of Puslinch, the area is very hilly, with steep irregular slopes and small basins or kettle lakes that collect water in the spring and early summer. The soil is coarse stony till composed largely of dolostone with traces of red shale (Chapman and Putnam 1984: 128). The Eramosa Branch of the Speed River runs through the northern portion of the Township of Puslinch, draining the area along the City border. There are numerous springs and creeks located throughout the township. The moraines provide the relief for the headwaters of a large number of streams and contributed to the development of kettle lakes, including Puslinch Lake, and wetlands (Blackport Hydrogeology Inc. 2009: 24).



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2.3 19TH CENTURY DEVELOPMENT

The first survey of the Township of Puslinch was completed in 1791 by the Deputy Provincial Land Surveyor of the Nassau District, Augustus Jones. Jones surveyed a line from Burlington Bay to the Conestoga River at Arthur. This survey line was known as the “Purchase Line” or “Jones Base Line.” From the Jones Base Line, the townships within the County of Wellington were laid out (Wellington County Branch OGS 2018).

The remainder of the Township of Puslinch was surveyed by Provincial Land Surveyor David Gibson between 1828 and 1831. It was initiated by John Galt, the founder of Guelph and a representative of the Canada Company. Galt, in wanting to make his new town site more accessible, instigated the development of a road from Guelph to Dundas through the Township of Puslinch. The “Dundas Road”, or “Aboukir Road” (now Brock Road), ran between Concessions 7 and 8 of the township adjacent to the Study Area (Mack 1977). Gibson first surveyed Concessions 7 to 10 (old survey) for the development of the roadway, followed later by Concessions 1 to 6 (new survey). A Gore section at the southern portion of the township was originally excluded from the original survey as it was set aside as a clergy reserve.

Gibson surveyed the concessions with double front lots that were each approximately 100-acres (Plate 1). The old survey followed the Jones Base Line with lots on a northeasterly angle, while the new survey was laid out east to west. The conjunction of the two surveys later caused a “V” shaped arrangement of township roads (Puslinch Historical Committee 1950).

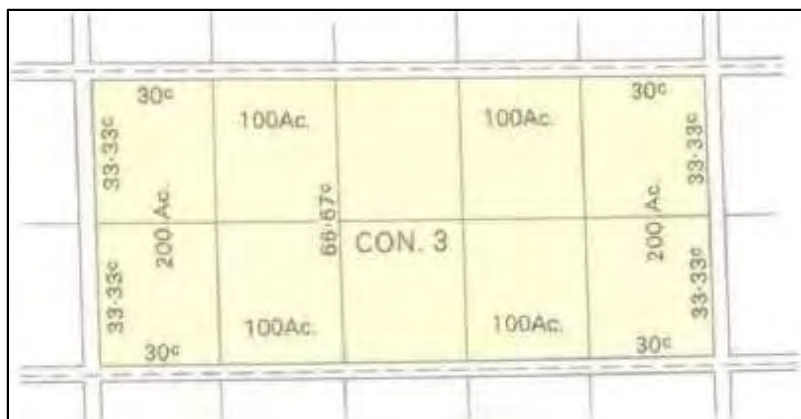


Plate 1: Double-Front Survey System (Source: Dean 1969)

Brock Road was originally named Aboukir Road in honour of the British victory at Aboukir Bay in the Battle of the Nile, in 1798. In 1828, Absalom Shade was awarded the contract to construct the roadway. The road was cleared and constructed through dense forests and cedar swamps. Following its completion, Shade was commissioned to complete a road between Guelph and Galt, known as the “Accommodation Road” or “Given Road,” that would connect to Brock Road from Concession 4 (Hutchinson 1998: 108).



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Communities developed along the main Brock Road through the township. Aberfoyle, just south of the Study Area was one of the first towns along Brock Road. John McFarlane immigrated from Aberfoyle, Perthshire, Scotland, to the township, and purchased Lot 17, Rear Concession 7 in 1841. McFarlane built a house and opened a store there in 1842. A mill was built at Aberfoyle in 1859 by George McLean (Mack 1977).

By 1840, the Township of Puslinch had a population of 1,617. It was incorporated on January 1, 1850. It was named for the ancestral home of Lieutenant Governor Sir John Colborne's wife (Puslinch Historical Society 2000: 8). The population of the township in 1851 had increased to 3,862 residents. Aberfoyle became the seat of administration in 1867, and a town hall was built in the village. By 1877, the population of the township was 4,514 people, and had an area of 60,990 acres (Walker and Miles 1877: 4). The Credit Valley Railway was completed through the southern portion of the township in 1879 and a station was built at the Village of Puslinch. It became a main shipping point in the township, as the line ran between Toronto and St. Thomas, with branches to Orangeville and Elora (Puslinch Historical Society 2018). The line became part of the Canadian Pacific Railway in 1884.

The historical maps of the Township of Puslinch from 1861 and 1877 indicate that by the late 19th century most lots within the township had been purchased and settled (Figure 4).

2.4 20TH CENTURY DEVELOPMENT

At the turn of the century, the Township of Puslinch witnessed a change in settlement patterns, as retired farmers began to move into the villages. This coincided with a shift in the specialization of agriculture and industries. Brock Road continued to be the main thoroughfare through the township. It was paved between 1921 and 1925, and later became part of the King's Highway 6 (Puslinch Historical Society 2000: 27).

Development of Highway 401 south of the Study Area began in the 1930s when the congestion of automobiles became a problem for towns and cities along Highway 2, which was the main thoroughfare through the province at the time. This work occurred during the Great Depression in Ontario and as a result the Department of Highways, Ontario (DHO) was also generating road construction projects as part of unemployment relief. Work was put on hold at the end of the 1930s, due to the commencement of the Second World War (Ministry of Transportation Ontario 2018). Following the war, the first portion of the new super highway was completed in Scarborough in 1947; initially known as Highway 2A, it was changed to Highway 401 in 1952, when the 400-series highway numbering came into effect. Highway 401 was completed across the province in the 1950s and 1960s, with the final section between Gananoque and Brockville finished in 1968 (Bervers 2018).

Within the Township of Puslinch, land was purchased for the development of Highway 401 in the mid-1950s. The construction of the highway had an immediate effect on the township, including a loss of farmland, cutting off of township concession roads, disruption of local traffic, and a decentralization of its economy (Puslinch Historical Society 2000: 27). The close proximity of the Township of Puslinch to larger urban centres, including the Greater Toronto Area, Hamilton, Milton, Guelph, and Kitchener-Waterloo,



2187 GORDON STREET, CITY OF GUELPH, ONTARIO - CULTURAL HERITAGE EVALUATION REPORT

Historical Developments
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has influenced the development of subdivisions for commuters, and industries. Industrial parks developed off of Brock Road, including Kerr Industrial Park in 1979, the Nicholas Beaver Industrial Subdivision in 1980, and the Aberfoyle Business Park in 1995 (Puslinch Historical Society 2000: 90).

Since the early 1980s, planning began for municipal expansion to the south. In 1982, the Joint Fringe Area Planning Program was established to discuss development proposals, boundary issues, and future land use planning for the City and Township of Puslinch (Matheson and Anderson 2000: 255). It was during this decade that subdivision development occurred off Brock Road just south of the City's boundaries. This includes Maple Leaf Lane (Lot 7, Concession 22) in 1984, Rolling Hills Subdivision (Lots 11 to 13, Concession 8) in 1986, and Fox Run Estates (Lots 18 and 19, Concession 8) in 1989 (Puslinch Historical Society 2000: 91). In 1990, the *Wellington County Study – Future Land Needs*, was adopted by the City and Township of Puslinch and became the basis for the annexation of land in 1993. This annexation included the Study Area with the transfer of 1,488.5 hectares (3678.16 acres) from the township to the City (Matheson and Anderson 2000: 255). The City of Guelph remains a fast-growing city in the province, with a population increase from 121,688 in 2011 to 131,794 in 2016 (Statistics Canada 2017).

2.5 PROPERTY HISTORY

The Study Area is situated on part of the rear half of Lot 14, Concession 7, in the former Township of Puslinch, within the County of Wellington. The property was granted as a patent in 1844 from the Crown to James Kidd (Ontario Land Registry Access [Onland] 2018a). Kidd, originally from England, was one of the first settlers in the Township of Puslinch when he arrived in 1830 (Puslinch Historical Committee 1950). In 1846, Kidd sold the west quarter of the rear half of Lot 14 to his brother Samuel Kidd, who sold the property to Joseph Kirby in 1852 (Onland 2018a).

Kidd (age 53) is listed on the 1851 Census of the Township of Puslinch as a farmer along with his wife Lydia (age 53). Lydia's age appears incorrect on the census in comparison to other census records and her death record. In 1851, Lydia would have been between 19 to 20 years of age. Also listed on the census is Kidd's brother Samuel (age 67) and his nephew Samuel (age 28). The family is listed as living in a one storey log residence (Library and Archives Canada 1851). Around this time, the stone tail of the timber frame barn structure on the property was constructed under Kidd's ownership. Kidd is listed on the property on the 1861 Agricultural Census, with 40 acres under cultivation, 25 acres of which are crops, four acres of pasture lands, one acre of gardens, and 12 acres of wood lot. Kidd was farming wheat, peas, oats, potatoes, and turnips. Kidd (age 62) is also listed on the 1861 Census along with his wife Lydia (age 30), as living in a one storey log residence (Library and Archives Canada 1861). Kidd is listed on the property on the 1861 County of Wellington map (Figure 4). The one storey log residence is not depicted on the property. Kidd remained the owner of the property throughout the 1860s, as he is listed as a freeholder on the property in the 1867 *Gazetteer and Directory of the County of Wellington* (Irwin & Burnham 1867: 79).

Into the 1870s, Kidd is listed as a freeholder on the property in the *Gazetteer and Directory of the County of Wellington for 1871-72* (Loomis & Co. 1871: 233). Kidd (age 71) is listed on the 1871 Census of the



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Township of Puslinch as a farmer along with his wife Lydia (age 39), and their children William (age 8), Isaac (age 7), George (age 6), Lois (age 5), Sarah Ann (age 2), and Jeremiah (age 7 months) (Library and Archives Canada 1871). Kidd is depicted on the property on the 1877 Township of Puslinch map (Figure 4). A structure is shown on the map fronting Brock Road, possibly the one storey log residence. Kidd died on March 18, 1878 (Archives of Ontario 1878: 158).

Lydia Kidd maintained ownership of the property for more than a decade after her husband passed away. In 1889, Lydia Kidd sold the property to Mary Wood, who owned the west quarter of the rear part of Lot 14, Concession 7. This reunited the full rear part of Lot 14 to a single property. Following Wood's death in 1905, the property was transferred to her son Alexander, who sold it that same year to Edward Taylor. Taylor is listed on the property on the 1906 Township of Puslinch map (Figure 5). Much like the earlier maps, no structure is depicted on the property. Taylor sold the property the following year to William G. Blair. The Blair family owned the adjacent property, on Lot 14, Concession 8 (now 2162 Gordon Street). In 1907, Blair sold the property to his brother John Nichol Blair and retained and farmed the adjacent property (Onland 2018a/Tweedsmuir).

The current residence on the property was built under the ownership of John Nichol Blair in about 1910. Blair (age 41) is listed on the 1911 Census of Township of Puslinch as a farmer along with his wife Ermina (age 34) (Library and Archives Canada 1911). The current residence is depicted for the first time on the property on the 1916 Galt topographic map fronting Brock Road (Figure 5). Blair died in 1958, and the property was left to his wife Ermina. The following year, Ermina sold the property to Catherine M. Piotrowski (Onland 2018b). In the 1970s, Gordon Couling, an architectural historian in the City and County of Wellington photographed the property (Plate 2 to Plate 4). The heritage integrity for the barn appears intact, with some conditional changes including missing wood stable doors. The residence has been altered since the 1970s with the removal of the brick chimney, and the replacement of the front door with a new steel door, some of the 1/1 wood windows with modern metal sash windows, and the porch column and pier with concrete versions.

In 2018, a Stage 1-2 Archaeological Assessment was prepared by Stantec for the property (Stantec 2018). The assessment identified two archaeological sites on the property. Location 1 (AiHb-356) was identified adjacent to the current residence and contained 141 Euro-Canadian artifacts that date from the early 19th to early 20th century. Structural artifacts, including glass and cut nails that date to the early to mid-19th century point to an earlier residence on the property that would have been associated with James Kidd and family. Location 2 (AiHB-357) was identified to the rear of the property within the coniferous forest. The location includes the standing ruin of a stone foundation. This foundation is possibly connected to Mary Wood, who owned the west quarter of the rear part of Lot 14, Concession 7 in the late 19th to early 20th centuries. Wood may have abandoned the structure when she purchased the property fronting Brock Road in 1889, although there is little known about the ruins (Stantec 2018). Additional archaeological assessments are planned for the property and may reveal additional information.



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Plate 2: View of barn October 1973 (Couling 1973)



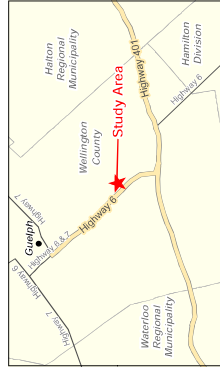
Plate 3: View of residence 1973 (Couling 1973)



Plate 4: View of barn 1978 (Couling 1978)



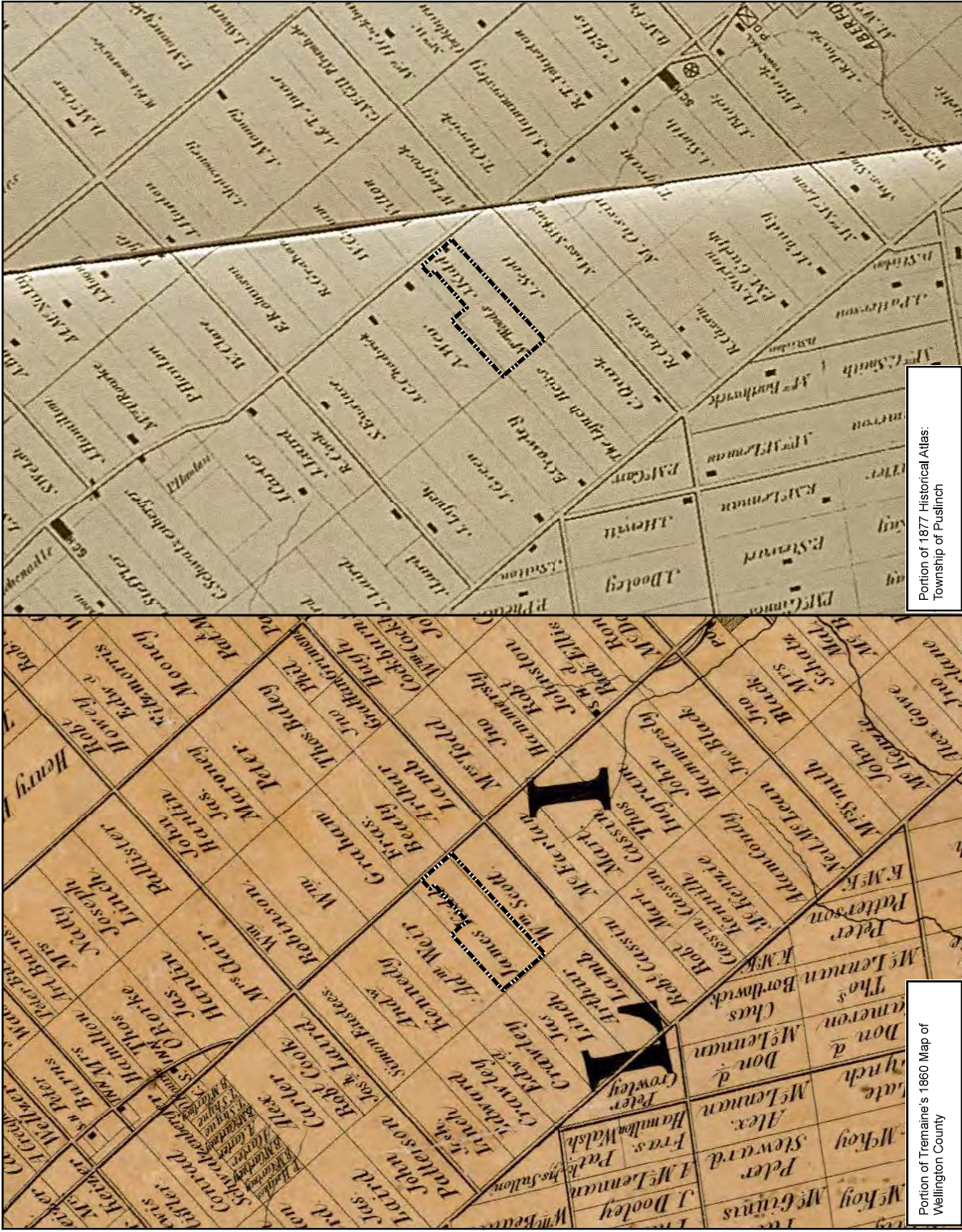
Notes:
 1. Historical image not to scale.
 2. Reference: Tremaine, Geo. F. 1860. Tremaine's Map of the County of Wellington, Ontario. Toronto: Geo. F. Tremaine & Co. 1860.
 3. Reference: Walker & Miller, 1977. Historical Atlas of the County of Wellington, Ontario, Toronto.



Project location: 141A13746
 Prepared by BCC on 2019-09-20
 City of Guelph, ON Technical Review by MR on 2019-09-20

Client/Project:
 257590 ONTARIO LTD.
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 Figure No. 4

Title
 19th Century Historical Mapping

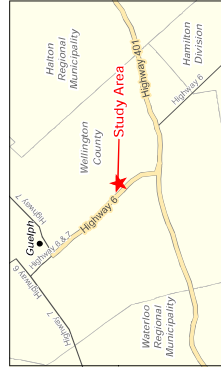


Portion of Tremaine's 1860 Map of Wellington County

Portion of 1877 Historical Atlas: Township of Puslinch

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Notes:
 1. Historical image not to scale.
 2. Reference: Topographic Map Ontario Grid Sheet.
 Department of Energy, Mines and Resources 1967.

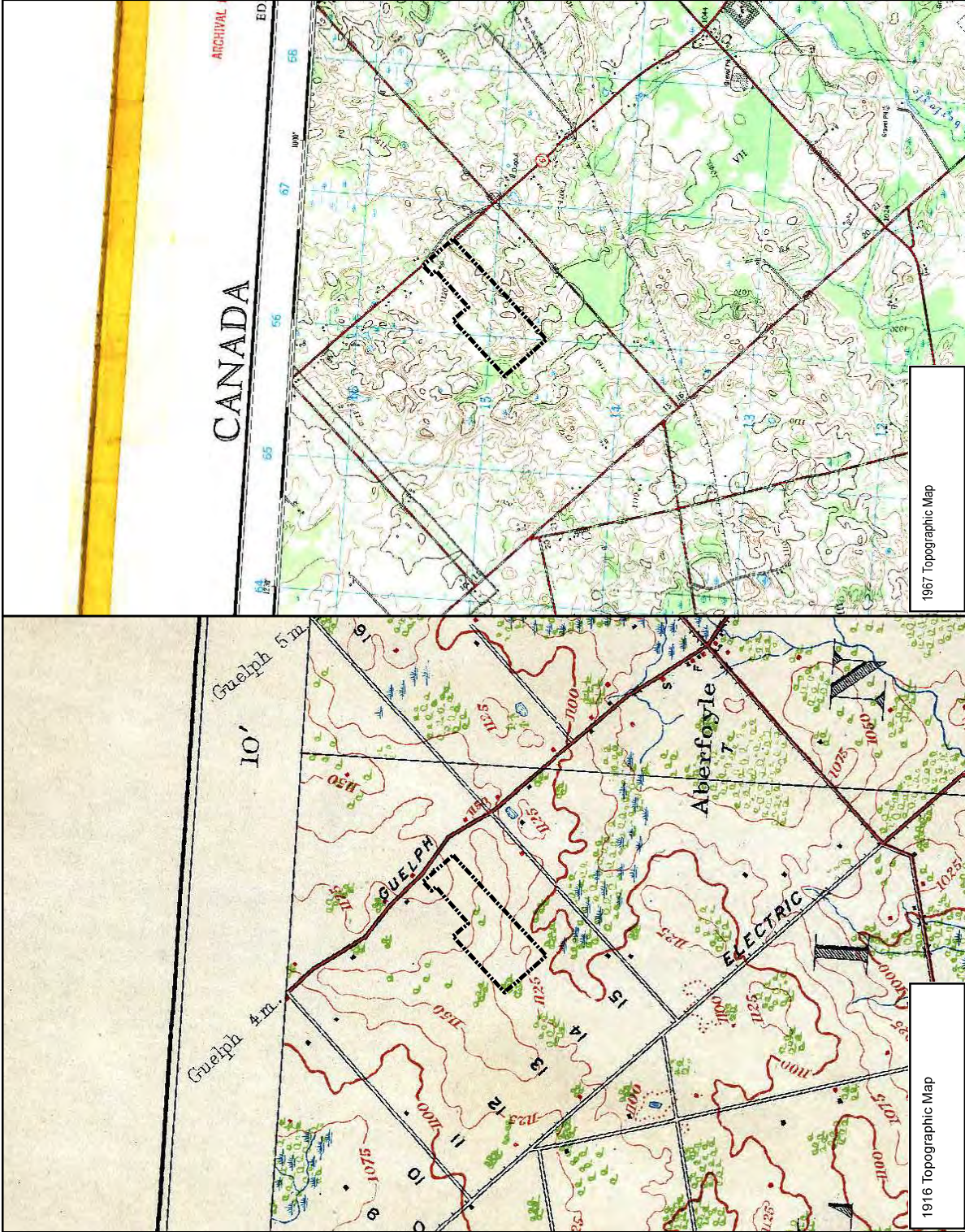


Project Location: 1614 17th St
 City of Guelph, ON Prepared by BCC on 2019-02-23
 Technical Review by MR on 2019-02-20

Client Project:
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Figure No. 5

Title:
 20th Century Historical Mapping



1967 Topographic Map

1916 Topographic Map

Disclaimer: Stantec assumes no responsibility for data supplied or calculated herein. The recipient assumes full responsibility for verifying the accuracy and completeness of the data. The recipient of these services, as well as any other persons, from time to time, all of whom are liable to the extent of availability of the data.

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3.0 SITE DESCRIPTION

3.1 LANDSCAPE SETTING

The Study Area is located on the west side of Gordon Street at the municipal address 2187 Gordon Street in the City of Guelph (Plate 5). The property is located approximately 400 metres north of Maltby Road. It is bounded on the north by 2143 Gordon Street, which contains a modern residence and 2093 Gordon Street, which is a listed property on the City's Register as it contains a late 19th century bank barn (Figure 3). The Study Area is bounded to the east by fields and woodlots associated with 398 Crawley Road, to the south by fields and woodlots associated with 99 Matlby Road, and to the east by Gordon Street. On the opposite side of the road, directly east of the property, is another listed property at 2162 Gordon Street (Figure 3). The property contains a mid-19th century Ontario vernacular stone residence, and a mid to late 19th century bank barn (Plate 6 and Plate 7).



Plate 5: 2187 Gordon Street looking northwest



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Plate 6: 2162 Gordon Street looking east



Plate 7: 2162 Gordon Street barn looking northeast

Gordon Street adjacent to the Study Area is in a landscape transiting from rural to mixed suburban use. Gordon Street is a two-lane asphalt paved roadway with paved and gravel shoulders. There are no sidewalks or curbs along Gordon Street and structures are setback from the roadway by lawns and various kinds of trees.

The Study Area contains a residence, a bank barn, an outbuilding, wood lots, and agricultural fields. The structures are accessed by way of a gravel laneway (Plate 8). The residence is setback approximately 17 metres from the roadway, with its front (east) elevation mostly hidden from view by vegetation including cedar trees (Plate 9). West of the residence is an open lawn area with a well (Plate 10 and Plate 11). Directly adjacent to the west elevation of the residence are ornamental plantings and a second well (Plate 12). Adjacent to the south elevation of the residence are original cedar plantings (Plate 13). Surrounding the residence, barn, and outbuilding are corn fields (Plate 14 to Plate 17). Adjacent to the corn fields are wood lots (Plate 18 and Plate 19). Towards the west side of the property the topography changes to rolling fields (Plate 20). The property also contains remnant cedar spilt-rail fencing evident in the 1970s photography of the property (Plate 15 and Plate 21). Ruins were identified on the property in the 2018 Stage 1-2 Archaeological Assessment, near the far west portion in the coniferous woodlot (Plate 22 and Plate 23).



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Plate 8: Snow covered laneway between barn and residence looking west



Plate 9: Front (east) elevation of residence looking west



Plate 10: West yard adjacent to residence looking east



Plate 11: Well in west yard



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Plate 12: Well adjacent to west elevation of residence



Plate 13: Original plantings adjacent to residence looking north



Plate 14: Corn fields adjacent to residence and barn looking southwest



Plate 15: Corn fields looking west



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Plate 16: Cornfields looking east towards barn



Plate 17: Cornfields south of barn looking south towards wood lot



Plate 18: Wood lot on property looking south



Plate 19: Cornfields and woodlot looking east towards barn



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Plate 20: Fields on property looking west



Plate 21: Remnant split-rail fencing on property



Plate 22: Built stone foundation (Stantec 2018)



Plate 23: Built stone foundation (Stantec 2018)

3.2 RESIDENCE

3.2.1 Exterior

The residence is a two storey structure with a medium-pitched hip roof that is clad in metal with a metal chimney (Plate 24). The structure has a L-shaped plan with a rear addition and a wide metal eaves (Plate 25 and Plate 26). The structure has a concrete exterior with stone and concrete decorative elements including concrete corner quoins, limestone lintels, and concrete sills (Plate 27 and Plate 28). The majority of the exterior windows have been replaced with modern metal multi-pane casement and fixed windows. The exterior retains four /1 wood single-hung windows (Plate 29). The basement has wood hinged windows set within stone window wells on the front and north elevations (Plate 30). The residence has a stone foundation.



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The front (east) elevation has a two symmetrically placed windows (Plate 24). It also has a set-back covered partial porch with a metal clad roof, wood column on a concrete base, and a wood railing (Plate 31 and Plate 32). The base of the porch is stone that has been parged with concrete (Plate 33). The porch also has two decorative wood brackets (Plate 34). The front entrance has a modern steel door (Plate 28). The north elevation has symmetrically placed windows and the utility hook-ups (Plate 35). The west elevation includes a single storey wood board and batten addition (Plate 36 and Plate 37). The addition has a medium-pitched gable roof that is clad with metal. Its exterior has wood multi-pane single-hung windows, each with a wood transom. The south elevation of the addition has a wood paneled half glass entrance door. The addition has a stone foundation (Plate 38). The south elevation has symmetrically placed windows, and a hatchway to the basement (Plate 39 and Plate 40).



Plate 24: Front (east) elevation looking west



Plate 25: Metal chimney and wide eaves from northwest corner



Plate 26: Wide eaves on southeast corner

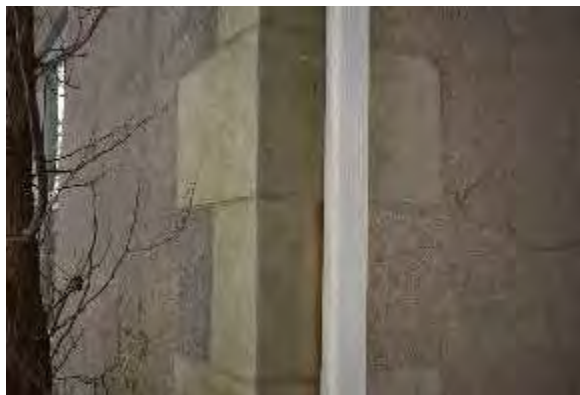


Plate 27: Concrete quoins on southeast corner



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Plate 28: Front door and with concrete lintels and sills



Plate 29: Wood 1/1 single-hung window on north elevation



Plate 30: Stone window well on east elevation



Plate 31: Front partial porch



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Plate 32: Front porch pier, column and railing looking southwest



Plate 33: Stone porch base



Plate 34: Bracket on porch



Plate 35: North elevation looking south



Plate 36: Northwest elevation looking southeast



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Plate 37: West elevation looking east



Plate 38: Close-up of addition foundation



Plate 39: South elevation looking northeast



Plate 40: Exterior basement hatch

3.2.2 Interior

The interior of the residence has been updated over the years to include carpeting and tiling, wallpaper, and newer light fixtures. The residence is currently vacant. The front entrance opens into the kitchen which has been modernized although it retains the original wood wainscoting (Plate 41 to Plate 44). Off the central kitchen to the east is a front living room, that retains wood mouldings and a Crane cast-iron radiator (Plate 45 and Plate 46). To the north of the kitchen is an office with original wood mouldings, a wood paneled interior door with original hardware, and a Crane cast-iron radiator (Plate 47 and Plate 48). Adjacent to the office is the updated laundry room, that has original wood mouldings and a wood panel interior door with original hardware (Plate 49). The basement is accessed from a set of wood stairs off the laundry room (Plate 50 and Plate 51).

The basement is broken into two rooms with stone walls, concrete and dirt flooring, and wood beams (Plate 52 to Plate 55). It also has an interior brick and concrete chimney (Plate 56). The room to the south includes the access door to the exterior (Plate 57).



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The second storey is accessed by a set of wood quarter landing stairs that are clad with carpet (Plate 58). The staircase is lined with wood trim (Plate 59). The second storey has a wood turned newel with a ball cap and simple turned wood balustrade (Plate 60 and Plate 61). The second storey has a modern bathroom and three bedrooms off a central hallway (Plate 62 to Plate 66). Between the front bedroom and the north bedroom is an adjoining closet (Plate 67). The second storey has original wood paneled interior doors with original hardware, wood moulding, and Crane cast-iron radiators (Plate 68).



Plate 41: Front entrance off kitchen

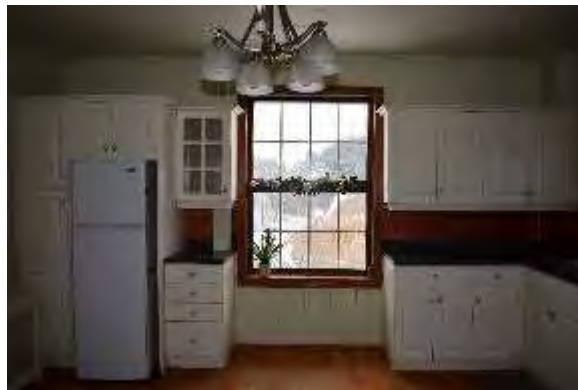


Plate 42: Kitchen looking south



Plate 43: Kitchen looking southwest

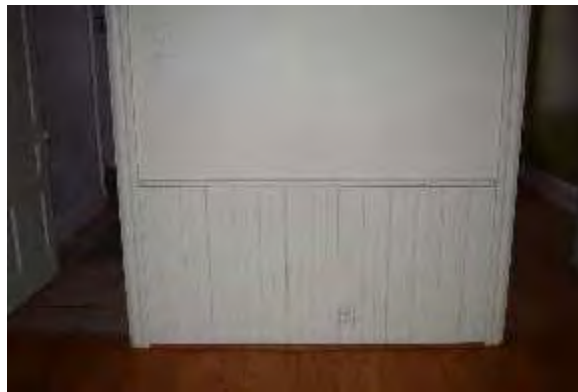


Plate 44: Wood wainscoting in kitchen



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Plate 45: Wood moulding in front living room

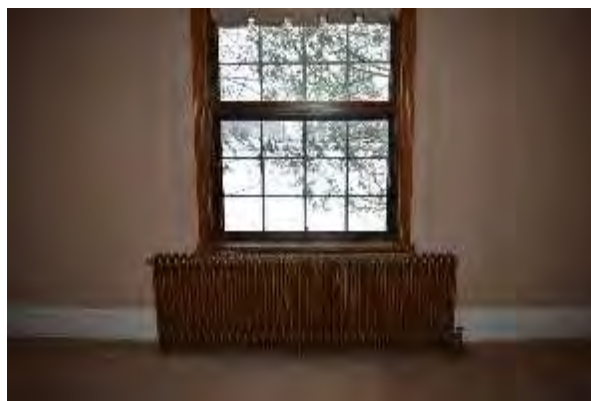


Plate 46: Cast-iron radiator in living room

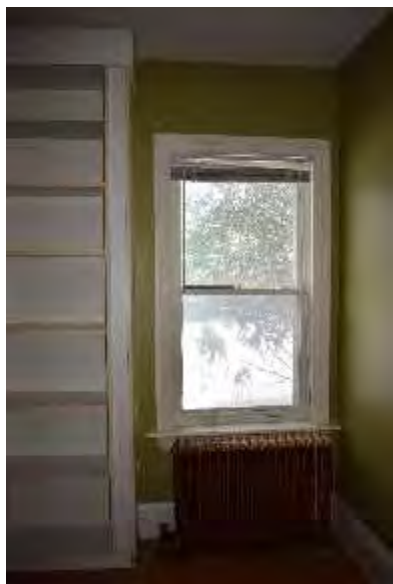


Plate 47: Cast-iron radiator in office

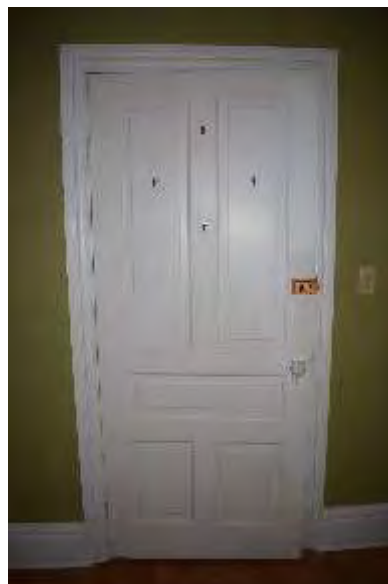


Plate 48: Interior wood paneled office door



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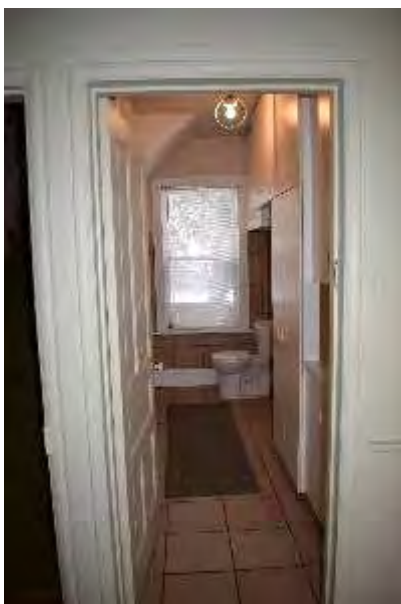


Plate 49: Laundry room looking north

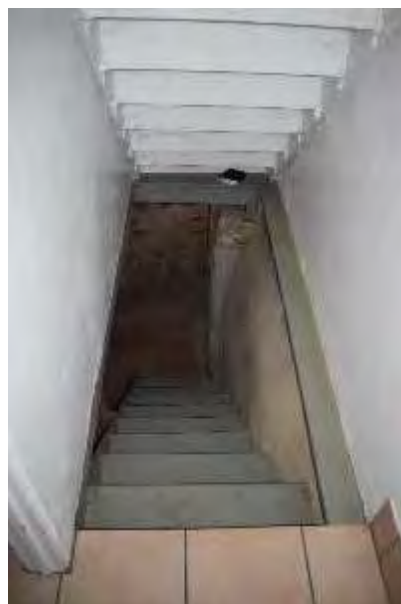


Plate 50: Wood stairs into basement

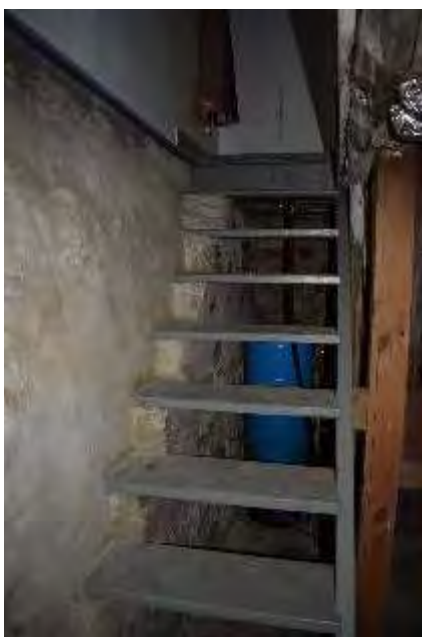


Plate 51: Wood basement stairs



Plate 52: Basement looking northeast



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Plate 53: Basement looking east



Plate 54: Basement looking east



Plate 55: Wood beams looking north



Plate 56: Interior brick chimney



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Plate 57: Basement looking southwest

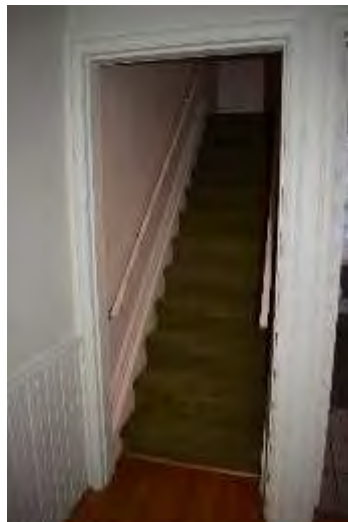


Plate 58: Staircase to second storey off kitchen

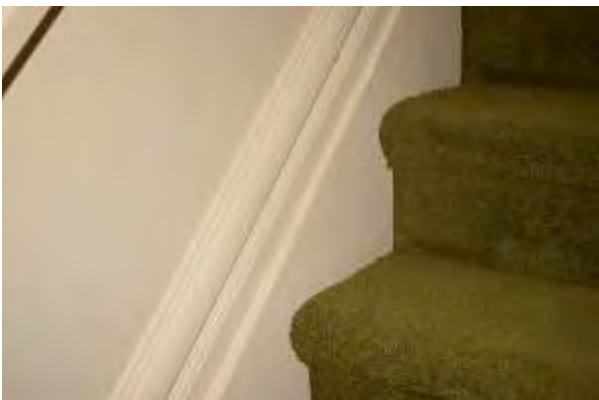


Plate 59: Wood trim on staircase

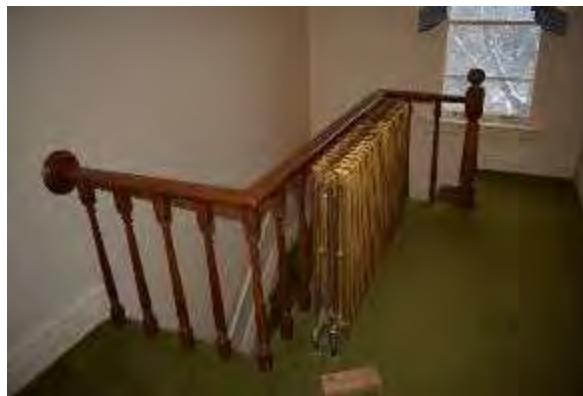


Plate 60: Wood railing and newel



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Plate 61: Wood newel and



Plate 62: Central upstairs hallway looking south



Plate 63: Second storey bathroom looking south

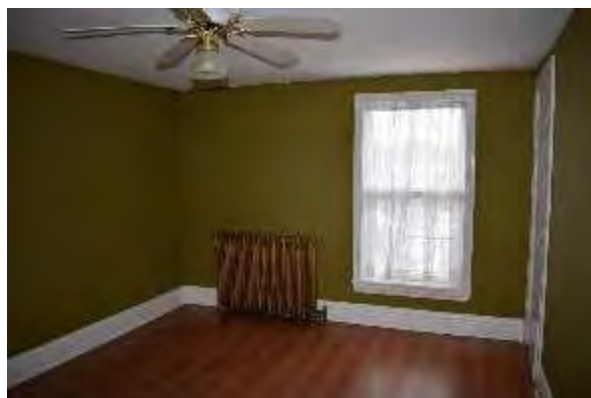


Plate 64: Second storey bedroom looking southeast



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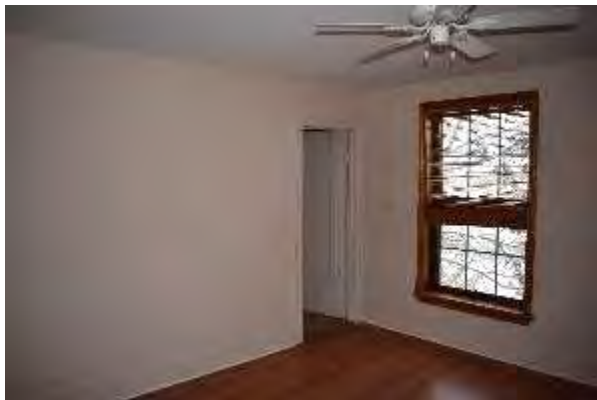


Plate 65: Second storey front bedroom



Plate 66: Second storey bedroom adjacent to staircase

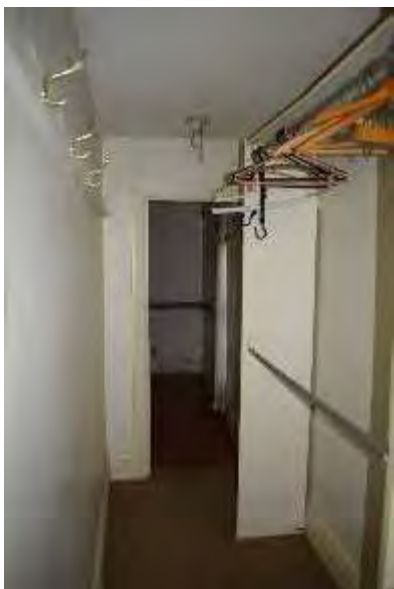


Plate 67: Closet between bedrooms looking northwest

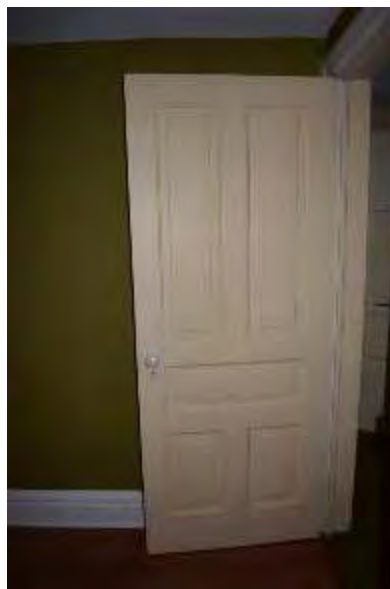


Plate 68: Wood paneled bedroom door

3.3 BARN

3.3.1 Exterior

The barn is a timber frame structure with vertical barnboard siding (Plate 69). The structure has an attached stone tail. The timber frame portion and the stone tail create an L-shaped plan with cross gable



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roof that is clad in decorative tin (Plate 70). The bank barn is set within a slope and has a stone foundation (Plate 71). The corners of the stone foundation have large stone quoins.



Plate 69: Bank barn looking southwest



Plate 70: Close-up of tin cladding on roof



Plate 71: Close-up of stone foundation

The timber frame portion of the north elevation provides access to the threshing floor on the upper level of the barn (Plate 72). A large central wood door slides open to provide access to the interior. The door has modern door track and hanger components. The manhole door within the vertical plank barn door has an original metal hardware (Plate 73). The gable peak of the barn has decorative wood cut-outs including two symmetrically placed diamonds with corner triangles, and a centrally placed cut-out in the peak that mirrors the roofline (Plate 74). The north elevation of the stone tail also has a large vertical wood plank door that opens on the upper interior (Plate 75). The door has modern door track and hanger components



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(Plate 76). The north elevation has two narrow vertical slit windows (Plate 77). The slit windows which widen inwardly towards the interior where designed to ventilate the building. The lower north elevation also has a small wood hinged door (Plate 78). The stone foundation wall underneath the doorway on the stone tail has collapsed (Plate 79 and Plate 80).

The east elevation of the barn has three wood frame windows set within the stone foundation (Plate 81). The windows have either been boarded-up or are missing panes (Plate 82). The foundation also has a wood stable door set within a wood frame with original hardware (Plate 83). The upper threshing storey of the barn also has hinged door and an adjacent wood frame window (Plate 84).

The south elevation of the timber frame portion of the barn similarly has wood frame windows and a wood stable door while the gable peak has similar wood cutouts to the north elevation (Plate 85 and Plate 86). The southwest corner of the timber frame portion of the barn has an inset lower access area with a wood stable door, a large wood frame door, and feeding trough window (Plate 87 and Plate 88). The south elevation of the stone tail has three lower stable door openings with stone lintels (Plate 89 to Plate 91). Only one door opening retains a wood door. The upper store portion of the tail has a wood frame hinged door, a wood frame hinged window, and a narrow-slit window.

The west elevation includes the gable end of the stone tail (Plate 92). Its exterior has wood frame windows and narrow vertical slit windows (Plate 93). The lower storey windows have large stone lintels (Plate 94). The southwest corner of the barn has a projecting stone wall (Plate 95).



Plate 72: North elevation looking south

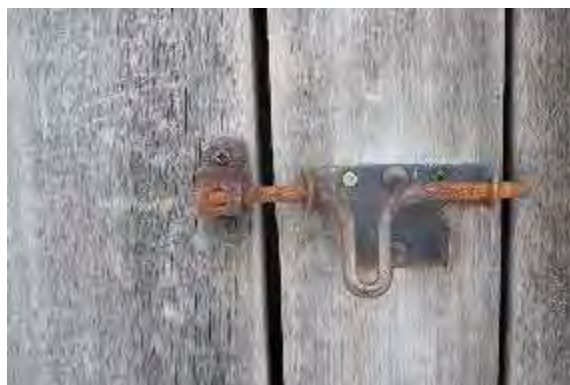


Plate 73: Manhole door fixture



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Plate 74: Close-up of decorative wood cutout



Plate 75: North elevation of stone tail looking southwest



Plate 76: Close-up of door on tail



Plate 77: Close-up of slit window



Plate 78: Close-up of lower hinged door



Plate 79: Collapsed foundation wall on north elevation



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Plate 80: Close-up of collapsed north elevation foundation wall



Plate 81: East elevation looking west



Plate 82: Window on east elevation



Plate 83: Wood door on east elevation



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Plate 84: Wood hinged door and wood window



Plate 85: South elevation of barn looking west



Plate 86: South elevation of barn looking north



Plate 87: Southwest corner of timber frame portion of barn looking east



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Plate 88: Southwest corner of timber frame portion of barn looking east



Plate 89: Southwest elevation looking northeast



Plate 90: South elevation of stone tail looking north



Plate 91: Close-up of stone lintel above door



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Plate 92: West elevation looking northeast



Plate 93: Gable peak of west elevation



Plate 94: Window on west elevation



Plate 95: Stone wall on southwest corner

3.3.2 Interior

3.3.2.1 Upper Storey of Timber Frame Barn

The interior of the upper storey or threshing floor of the barn is supported by a simple two-posts-per-bent timber frame structure with wood flooring (Plate 96 and Plate 99). The barn is composed of four bents and has three bays. All the posts and beams in the barn were hand hewn (Plate 100 and Plate 101). The wood posts and beams are secured in place by a mortise and pins. The interior has numerous braces for extra support. Some of the interior posts also have wooden ladders that extend towards the ceiling (Plate 102).

The east portion of the barn has an enclosed grain storage area. The upper portion of the enclosed area is open for storage and accessed by a set of wooden stairs, while the lower portion has a central hallway with stalls (Plate 103 to Plate 105). The wood sliding door that encloses the lower storage area has an



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original metal track and hangers (Plate 106). The threshing floor also includes hay drop doors that open to the lower stables (Plate 107). Running across the ceiling of the barn is a metal hay trolley system, once used to move hay across the threshing floor (Plate 108). Access to the lower stables is through a wood vestibule on the north elevation (Plate 109 and Plate 110).



Plate 96: Threshing floor of barn looking south



Plate 97: Threshing floor of barn looking southeast



Plate 98: Threshing floor of barn looking northeast



Plate 99: Threshing floor of barn looking west



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Plate 100: Hand hewn beam and joints



Plate 101: Hand hewn beam and joints



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Plate 102: Wood ladder on interior post



Plate 103: Grain storage area looking southeast



Plate 104: Grain storage area looking east



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Plate 105: Enclosed grain storage area looking east

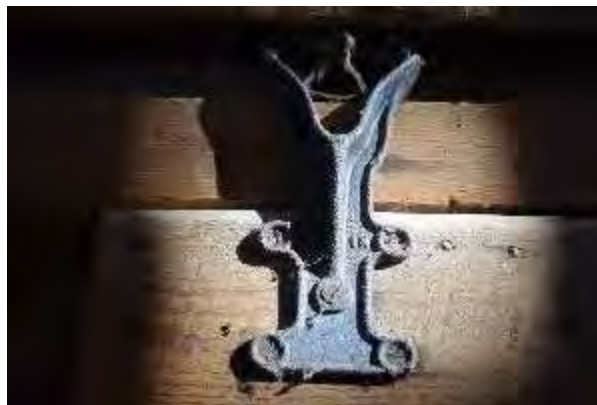


Plate 106: Close-up of hanger on grain storage door



Plate 107: Hay drop

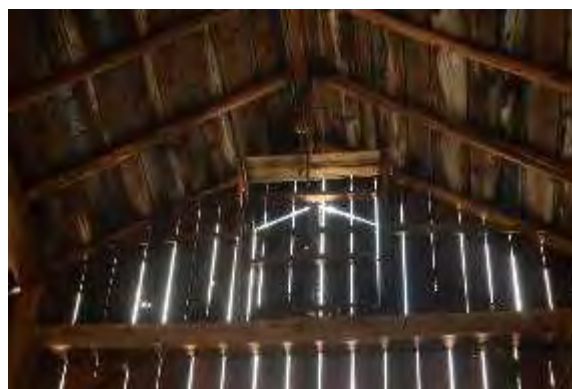


Plate 108: Hay trolley on ceiling



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Plate 109: Wood vestibule to lower stables looking north



Plate 110: Wood vestibule to lower stables looking west

3.3.2.2 Upper Storey of Stone Tail

To the west of the timber frame portion of the barn is the stone tail that is accessed through an open doorway through the stone wall on the tail's east elevation (Plate 111 and Plate 112). The doorway has a stone lintel and stone threshold (Plate 113 and Plate 114). The evidence of the stone tail having a previous gable roof prior to the addition of the timber frame portion of barn is clear on the interior, as the east elevation of the stone wall is an exterior wall, with its missing gable peak (Plate 115 to Plate 117). The two sections of the barn are now conjoined a wood frame cross gable roof. More evidence to the east elevation of the stone tail being an exterior wall is the narrow vertical spilt window, similar to other exterior elevations.

The stone tail is supported by a simple single-post-per-bent timber frame structure (Plate 118 to Plate 121). The barn is composed of two bents and has three bays. All the posts and beams in the barn were hand hewn. The wood posts and beams are secured in place by a mortise and pins. The interior has braces and struts for extra support. One of the interior posts has a wood ladder that extends from the floor to the beam. The stone tail has wood flooring of various widths (Plate 122).

Access to the interior of the stone tail threshing floor from the exterior is by way of a large wood sliding door set within a wood frame (Plate 123). Adjacent to the doorway is a wood vestibule with a wood staircase to the lower stable (Plate 124). The south elevation of the stone tail also has a wood door set within a wood frame, and an upper wood frame window with wood lintel. The window has a hinged wood door with original metal hardware (Plate 125 and Plate 90).



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Plate 111: Stone tail east elevation looking west from timber frame portion of barn



Plate 112: Stone tail entrance door looking west



Plate 113: Stone doorway lintel



Plate 114: Stone threshold between timber frame barn and stone tail



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Plate 115: Stone tail east gable end looking northwest from timber frame portion of barn



Plate 116: Stone tail looking east



Plate 117: Stone tail looking east



Plate 118: Stone tail looking west



Plate 119: Close-up of stone tail post and beam joint



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Plate 120: Stone tail beam and strut



Plate 121: Stone tail beam on door frame



Plate 122: Wood flooring in stone tail



Plate 123: Wood frame entrance door looking north



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Plate 124: Wood vestibule to lower stable

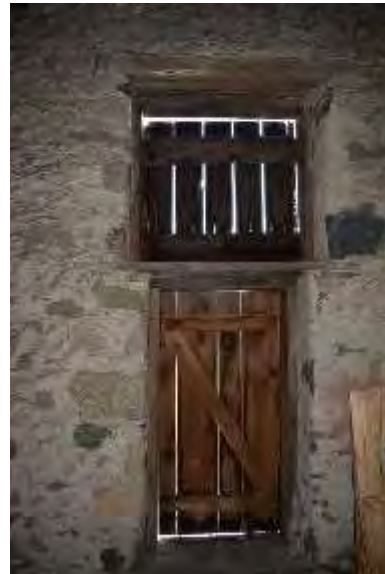


Plate 125: Wood door on south elevation

3.3.2.3 Lower Storey of Timber Frame Barn

The lower storey of the barn is composed of the former horse stables. It is accessed from the upper storey by way of a set of wooden stairs in both the timber frame portion of the barn and the stone tail (Plate 126 and Plate 127). It is accessed from the exterior by several doors as noted by exterior elevation in Section 3.3.1. The lower storey of the timber frame portion is composed of a central hall that runs between the entrance to the lower storey of the stone tail on the west to the east elevation entrance door (Plate 128 to Plate 132). North of the central hall is former horse stalls and storage areas, while to the south it is more open. The interior is supported by hand hewn posts and beams extending the lower storey west-east. The threshing floor above is supported by old growth wood beams that extend north-south (Plate 133 and Plate 134). The horse stalls north of the central hall have wood hinged stable doors (Plate 135 to Plate 137). Flooring throughout the lower stable area is either dirt or concrete.



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Plate 126: Wood staircase from timber frame portion of barn to lower stables



Plate 127: Wood staircase to lower storey in stone tail



Plate 128: Lower stables looking east



Plate 129: Lower stables looking southeast



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Plate 130: Lower stables looking west



Plate 131: Lower stables looking southwest



Plate 132: Lower stables looking north towards stalls



Plate 133: Old growth beams looking south



Plate 134: Old growth beams looking west



Plate 135: Horse stalls looking northwest



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Plate 136: Horse stall looking north



Plate 137: Horse stalls looking northeast

3.3.2.4 Lower Storey of Stone Tail

The lower storey of the stone tail is composed of horse stalls, general horse feeding areas, and storage areas (Plate 138 to Plate 141). The interior is supported by hand hewn supports and beams, with a couple posts set on stones (Plate 142 and Plate 143). The threshing floor above is supported by old growth wood beams that extend north-south and are set on the stone walls (Plate 144 and Plate 145). The lower stables retain some wood hinged stable doors (Plate 146 and Plate 147). Flooring throughout the lower stone tail stable area is either dirt or concrete.



Plate 138: Lower stables of stone tail looking west



Plate 139: Lower storey of stone looking north



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Plate 140: Lower stables in stone tail looking northwest



Plate 141: Lower stables in stone tail looking east



Plate 142: Hand hewn posts in stone tail on stones



Plate 143: Close-up of stone supporting hand hewn beam



Plate 144: Old growth beams supporting upper threshing floor



Plate 145: Old growth beams supported by stone wall looking south



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Plate 146: Horse stall looking north



Plate 147: Hinged stable door looking northwest

3.4 OUTBUILDING

Situated directly north of the bank barn is a timber frame outbuilding with a gable roof that is clad in metal (Plate 148 to Plate 151). The outbuilding is composed of four bents with three bays (Plate 152 and Plate 153). The main timber frame structure has hand hewn posts and beams. These wood posts and beams are secured in place by a mortise and pins (Plate 154). The interior has numerous braces for extra support, some of which are new support additions to the structure. The north, west, and east elevations of the structure are clad in metal, while the south elevation is open with a central vertical wood section. This wood section has a central wood door within a wood frame with original hardware (Plate 155). The east elevation has a single-pane wood frame window. The outbuilding has concrete and gravel flooring.



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Plate 148: Outbuilding looking northwest



Plate 149: Outbuilding looking east



Plate 150: Outbuilding looking south



Plate 151: Outbuilding looking west



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Plate 152: Outbuilding interior looking east



Plate 153: Outbuilding interior looking west



Plate 154: Outbuilding joint



Plate 155: Outbuilding door looking south



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4.0 EVALUATION

4.1 ONTARIO REGULATION 9/06

Evaluation of the property was undertaken against O. Reg. 9/06 as described in Section 1.3. The following sections discuss each criteria of O. Reg. 9/06 and include a summary of the findings.

4.1.1 Design or Physical Value

The property contains a residence that is representative of an early 20th century structure with Edwardian design influences, seen through its two storey massing, smooth exterior, hip roof, 1/1 wood windows, and plain stone lintels. The Edwardian style was prominent throughout southern Ontario in the early 20th century, between 1900 and 1920. The residence does not display a high degree of craftsmanship or merit as its construction method and materials were typical of the early 20th century. The residence does not demonstrate building techniques or include features that demonstrate a high degree of technical or scientific achievement.

The property also contains a barn that is representative of a mid to late 19th century Ontario vernacular structure, with a relatively rare stone tail. The timber frame portion of the barn, with its gable roof and stone foundation, is typical of a late 19th century barn construction. The stone tail, although relatively rare today, was a common construction method in the mid-19th century and was influenced by styles brought overseas into Upper Canada. This includes the English Barn style, which originated from Great Britain, and is seen in the stone tail's three bay interior, centrally placed door on its north elevation, and gable roof. The barn is also influenced by the Pennsylvania Dutch style, which originated from Germans settling initially in Pennsylvania, United States, before coming to Upper Canada. This style developed the use of the bank barn, which allowed for grain production on the upper level and livestock on the lower level. As the barn utilized typical construction techniques and methods of the mid to late 19th century, it does not display a high degree of craftsmanship of merit, nor does it demonstrate a high degree of technical or scientific achievement.

Based on the above discussion, 2187 Gordon Street meets criteria of Section 1(i) of O. Reg. 9/06.

4.1.2 Historical or Associative Value

The property is associated with the Kidd family who occupied the property from the mid to late 19th century. This association does not represent a significant contribution to the community, as the Kidd family did not make a strong, noticeable, or influential contribution to the development of the Township of Puslinch. Research revealed that James Kidd, of English descent, settled in the township in 1830, along the similar time of other British Isles settlers into Upper Canada. Kidd and his family were farmers in the township. The property does not provide evidence of notable or influential aspects of the community's history, the history of a particular culture, or contribute in a meaningful way to a comparative analysis of



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similar properties. The property does not yield information important to an understanding of a community or culture and the architect is unknown.

Based on the above discussion, 2187 Gordon Street does not meet criteria of Section 2 of O. Reg. 9/06.

4.1.3 Contextual Value

The property is situated within a small rural agricultural section of Gordon Street, while to the north and south the streetscape has been altered with the addition of modern residences as the area transitions from rural to suburban. The property contains a remnant landscape and is one of the few remaining agricultural properties along Gordon Street. As such, it does not define, maintain, or support the character of the area. However, the property is physically, visually, and historically connected with the adjacent mid to late 19th century property at 2162 Gordon Street. The two adjacent properties connect as a 19th to early 20th century rural agricultural pocket along Gordon Street. The two properties are also associated through historic ownership under the Blair family, who in the early 20th century owned both properties.

The property is also a landmark along Gordon Street for the location of the barn that stands out in the viewscape of travelers heading north into the City. From a historical perspective, Gordon Street, formerly Brock Road, was an early roadway through the Township of Puslinch that led to the City beginning in the early 19th century and remains a main thoroughfare today. As such, the barn and its stone tail have been in the viewscape of travelers since the mid-19th century. Gordon Street adjacent to the property is also set on a rise, with the barn situated lower in the hillside providing a clear view from the roadway to the barn. The barn itself also stands out with its stone tail which is relatively rare in the local area.

By comparison, the residence does not represent a landmark as it is heavily screened and filtered from the roadway by unkept overgrown foundation plantings. Its position on the property is less prominent from the perspective of Gordon Street. Furthermore, it reflects a design that is very common in the rural landscape and does not represent a relatively rare feature such as the barn's stone tail.

Based on the above discussion, 2187 Gordon Street meets criterion of Section 3 (ii and iii) of O. Reg. 9/06.

4.1.4 Summary

The property at 2187 Gordon Street was evaluated using O. Reg 9/06 of the *Ontario Heritage Act* (see Section 1.3). It was determined that the property has CHVI as it met multiple criterion of O. Reg. 9/06. The property was determined to satisfy criteria 1(i) as the residence is a representative example of Edwardian design influences and the barn is a representative example of a mid to late 19th century Ontario vernacular barn with a relatively rare stone tail. The property also met criteria 3 (ii and iii) for the physical, visual, and historic connection with the adjacent 2162 Gordon Street and the barn was determined to be a local landmark. Table 1 below provides a summary of the evaluation of the property according to criteria of O. Reg 9/06.



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Table 1: Evaluation of 2187 Gordon Street According to Ontario Regulation 9/06 of the Ontario Heritage Act

Criteria of O. Reg. 9/06	Y/N	Comments
Design or Physical Value		
Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method	Y	The residence is representative of an early 20 th century structure with Edwardian design influences, seen through its two storey massing, smooth exterior, hip roof, 1/1 wood windows, and plain stone lintels. While the use of concrete parging is unusual, it was a less expensive material than brick or stone at the time and does not make the residence unique. The barn is representative of a mid to late 19 th century Ontario vernacular barn, with a relatively rare stone tail.
Displays a high degree of craftsmanship or artistic merit	N	The residence is a frame structure with a concrete exterior and stone foundation. These are typical construction components of the early 20 th century. The residence does not display a high degree of craftsmanship or artistic merit. The timber frame portion of the barn with its gable roof and stone foundation is a typical late 19 th century structure. The stone tail although relatively rare today, was common construction method in the mid-19 th century influenced by the English Barn and Pennsylvania Dutch Bank Barn building styles and techniques.
Demonstrates a high degree of technical or scientific achievement	N	The property does not demonstrate a high degree of technical or scientific achievement.
Historical or Associative Value		
Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community	N	The property is associated with the Kidd family who were early settlers in the Township of Puslinch. The Kidd family owned the property from 1844 to 1889. The barn and outbuilding on the property are connected to the Kidd family, while the residence was constructed in the early 20 th century when the property under the ownership of John Nichol Blair.
Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	N	The property does not contribute to an understanding of the community.
Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community	N	The property does not reflect the work or ideas of a particular architect, artist, builder, designer or theorist who is significant to the community.



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Table 1: Evaluation of 2187 Gordon Street According to Ontario Regulation 9/06 of the Ontario Heritage Act

Criteria of O. Reg. 9/06	Y/N	Comments
Contextual Value		
Is important in defining, maintaining, or supporting the character of an area	N	The character of the area is transiting from rural to suburban use. The property is a remnant landscape and is one of the few remaining agricultural properties along Gordon Street. As such, it does not define, maintain, or support the character of the area.
Is physically, functionally, visually, or historically linked to its surroundings	Y	The property is physically, visually, and historically connected to the adjacent 2162 Gordon Street. The two adjacent properties connect as a 19 th to early 20 th century rural agricultural pocket along Gordon Street. The two properties are also connected through historic ownership under the Blair family, who in the early 20 th century owned both properties. The barn at 2162 Gordon Street is visible from the residence and laneway at 2187 Gordon Street.
Is a landmark	Y	<p>The property has landmark value as the barn stands out in the viewscape travelling north along Gordon Street towards the City. From a historical perspective, Gordon Street was and remains a main thoroughfare into the City and the barn has been in the viewscape of travelers along the roadway since the mid-19th century. Gordon Street is set on a rise above the property providing a clear view towards the barn set within a lower slope. The barn also stands out in the viewscape with its aesthetically pleasing stone tail.</p> <p>The residence is not a landmark structure for its simple Edwardian influenced concrete exterior. The residence is also heavily screened and filtered from the roadway by unkept overgrown foundation plantings.</p>



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5.0 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

5.1 STATEMENT

5.1.1 Description of Property

The property is located at 2187 Gordon Street at the south end of the City of Guelph. It is situated on Lot 14, Concession 7, formerly within the Township of Puslinch. The property is located on the west side of Gordon Street between Clair Road and Maltby Road. It is bounded on the north by 2143 Gordon Street, which contains a modern residence, and 2093 Gordon Street, which contains a late 19th century bank barn and modern residence. The property is bounded to the east by fields and woodlots associated with 398 Crawley Road, to the south by fields and woodlots associated with 99 Maltby Road, and to the east by Gordon Street. The property contains an early 20th century residence, a mid to late 19th century barn, a late 19th century outbuilding, wood lots, and agricultural fields.

5.1.2 Cultural Heritage Value

The property demonstrates design value for its early 20th century residence built in about 1910 and for its mid to late 19th century Ontario vernacular barn with relatively rare stone tail. The residence has Edwardian design influences seen through its two storey massing, smooth exterior, hip roof, 1/1 wood windows, and plain stone lintels. The Ontario vernacular bank barn is a timber frame structure with cross gable roof, vertical barnboard siding and stone foundation. The structure has a stone tail that predates the timber frame portion of the barn. The stone tail has distinctive vertical narrow slit windows.

The property is physically, visually, and historically connected with the adjacent mid to late 19th century property at 2162 Gordon Street. The two adjacent properties connect as a 19th to early 20th century rural agricultural pocket along Gordon Street. The two properties are also associated through historic ownership under the Blair family, who in the early 20th century owned both properties.

The bank barn on the property is a landmark structure that stands out in the viewscape for travelers heading north on Gordon Street into the City of Guelph. Gordon Street, formerly Brock Road, was an early roadway that led to the City of Guelph beginning in the early 19th century. As a main thoroughfare today, the prominence of the barn and its stone tail have been in the viewscape of travelers since the mid to late 19th century. Adjacent to the property, Gordon Street is also set on a rise, with the barn situated lower in the hillside providing a clear view from the roadway to the barn. The barn itself also stands out with its stone tail which is relatively rare in the local area.

5.1.3 Heritage Attributes

The following heritage attributes have been identified for the property at 2187 Gordon Street.

Elements that contribute to the design value of the property include:



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- Edwardian style residence exterior:
 - Two storey structure with rear addition
 - Medium-pitched hip roof
 - L-shaped plan
 - Wide eaves
 - Partial porch with stone base
 - 1/1 wood windows
 - Concrete quoins
 - Stone lintels
 - Stone window wells
 - Stone foundation
- Edwardian style residence interior:
 - Wood wainscoting
 - Wood mouldings and trim
 - Crane cast-iron radiators
 - Wood paneled interior doors with original hardware
 - Wood quarter landing stairs
 - Wood turned newel with a ball cap and simple turned wood balustrade
 - Wood beams supporting first storey
- Ontario vernacular bank barn exterior:
 - Timber frame structure with attached stone tail
 - Vertical barnboard siding
 - Cross gable roof with decorative tin
 - L-shaped plan
 - Stone foundation with stone quoins
 - Central wood sliding entrance doors
 - Decorative wood cut-outs on north and south elevations
 - Wood frame windows
 - Wood stable doors within wood frames
 - Vertical narrow slit windows
- Ontario vernacular bank barn interior:
 - Two posts-per-bent timber frame structure with four bents and three bays
 - Two bents with single posts that compose three bays (stone tail)



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- Hand hewn posts and beams
- Mortise and pin joints
- Wood ladders on interior posts
- Enclosed grain storage area with wood stalls and wood sliding door with original metal track and hangers
- Hay drop doors
- Metal hay trolley system
- Wood flooring
- Old growth wood beams
- Wood hinged stable doors

Elements that contribute to the contextual value of the property include:

- Its location on the west side of Gordon Street opposite to 2162 Gordon Street
- The bank barn's landmark position set within the property slope



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6.0 RECOMMENDATIONS

Based on the findings of this CHER, it was determined that the property at 2187 Gordon Street has CHVI. It is recommended that these findings be considered in future activities planned for the site. Specifically, a Cultural Heritage Resource Impact Assessment should be completed in conjunction with development of plans for the property so that any impact to heritage attributes may be considered as part of the project. Furthermore, consideration should be given to stabilizing the house and barn to facilitate retention as a viable option in the development application.

Should removal of either house or barn be contemplated, a heritage professional should be consulted to determine options to mitigate the loss of identified heritage attributes.

Additional recommendations may be made at a time where a proposed undertaking is considered.



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February 22, 2019

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APPENDIX B – MTE – BARN – STRUCTURAL CONDITION ASSESSMENT, 2018



November 27, 2018
MTE File No.: C42311-104

Mr. Alex Drung
Mattamy Homes
Senior Land Development Manager
Halton/Hamilton Division
433 Steeles Avenue East, Suite 110
Milton, ON L9T 8Z4

Dear Mr. Drung:

**Re: Barn – Structural Condition Assessment
2187 Gordon Street, Guelph, Ontario**

At your request Paul Slater, P.Eng. of MTE Consultants Inc. conducted a visual structural condition assessment of the barn at the above noted address, given the failure of the north foundation wall, sometime in the recent past.

Barn Construction

The barn appears to have been constructed in two stages: the original stone wall building and the larger post and beam barn addition to the east. Exterior grade is high along the north side of the building at the main floor elevation and slopes down along the east and west walls to provide grade level with the basement floor along the south wall. Two large barn doors provide access (for tractors) from grade into the west and east portions of the barn. See the attached photographic log.

Observations

The stone foundation wall below the west barn entrance door has failed (collapsed), and earth and stone debris has spilled in on to the basement floor (Photographs 1, 2). The floor beams, originally supported by the stone wall, now remain suspended from the floor boards (Photograph 3). The stone foundation wall adjacent to the failure site appears to be bowing inward most notably near the bottom third, at the location of maximum earth pressure (Photograph 4). It appears that this adjacent wall portion could also fail in a similar fashion. This could result in greater damage to the barn as this foundation wall supports the barn wall and roof above. The portion of foundation that collapsed was below the entrance door and as such supported a relatively lesser load; being that of the main floor (Photograph 5).



The four stone walls of the west portion of the barn have several vertical cracks, due to shrinkage (Photographs 6-9). The cracks do not pose a threat to the stability of the overall building structure. The stone foundation walls have several cracks throughout and mortar deterioration has occurred to the degree expected given its age.

Wood rot was observed in some floor beams; some loose floor boards were also noted (Photographs 10, 11, 14, 15). **(Deficiency)**

Overall timber framing of the building and the mezzanine framing appear to be in fair condition (Photographs 12-13).

Several cracks were observed in stone lintel beams over doors in the south wall. Lintels are presently supported by arching action and wood door framing (Photographs 16, 22, 23). There is potential for the door lintel to fail should the wood framing be dislodged or wood deterioration advance. The lintels should be shored in the interim. **(Deficiency)**

Exterior barn boards are in fair condition. However, there are several missing in one location that present a risk of people falling out (~8' drop) to grade below (Photographs 14-15). **(Deficiency)**

Discussion

Overall the barn appears to be plumb, without notable signs of settlement (Photograph 17). However, the west portion of the barn is unsafe due to the collapsed portion of the foundation wall and ill-supported main floor. Missing and damaged floor boards and wall boards also create unsafe conditions in the east portion of the building. There is potential for the cracked lintels to fail if the wood framing is dislodged.

We understand that development of the land in this area is planned. As such the cost associated with these repairs will factor into the decision of whether they should be completed or not. We would estimate the cost to reconstruct the failed portion of the north foundation wall, place a new reinforced concrete wall over the remaining bowing portion, as well as to address the other deficiencies outlined above to be in the order of \$150,000 to \$200,000. In addition to this, ongoing maintenance costs should also be considered in this evaluation. We recommend that a contractor review the scope of work and provide an estimate prior to making a decision to proceed with the repairs.

Recommendations

We recommend that all doors and other openings be boarded up to prevent anyone accessing the building until the foundation wall is rebuilt and other deficiencies noted above are addressed.



Mr. Alex Drung, Mattamy Homes
November 27, 2018
MTE File No.: C42311-104
Page 3

If you have any questions please contact the undersigned.

Yours truly,

MTE Consultants Inc.



Paul Slater, P.Eng.
Manager, Building Structures

PAS:amc
Attach.

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LIMITATIONS

This report has been prepared by MTE Consultants Inc. (MTE) at the request of Mattamy Homes. The material in it reflects the best judgment of MTE in light of the information available at the time of preparation. Any use which a third party makes of this report, or any reliance on or decisions made based on it, are the responsibility of such third parties. MTE accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report.

This assessment does not wholly eliminate uncertainty regarding the potential for existing or future costs, hazards or losses in connection with a property. No physical or destructive testing and no design calculations have been performed unless specifically recorded. Conditions existing but not recorded were not apparent given the level of study undertaken. We can perform further investigation on items of concern if so required. Only the specific information identified has been reviewed. The consultant is not obligated to identify mistakes or insufficiencies in the information obtained from the various sources or to verify the accuracy of the information. The Consultant may use such specific information obtained in performing its services and is entitled to rely upon the accuracy and completeness thereof.

Responsibility for detection of or advice about pollutants, contaminants or hazardous materials is not included in our mandate. In the event the Consultant or any other party encounters any hazardous or toxic materials, or should it become known to the Consultant that such materials may be present on or about the jobsite or any adjacent areas that may affect the performance of the Consultant's services, the Consultant may, at its option and without liability for consequential or any other damages, suspend performance of its services under this Agreement until the Client retains appropriate consultants to identify and abate or remove the hazardous or toxic materials and warrants that the jobsite is in full compliance with all applicable laws and regulations.

Budget figures are our opinion of a probable current dollar value of the work and are provided for approximate budget purposes only. Accurate figures can only be obtained by establishing a scope of work and receiving quotes from suitable contractors. Any time frame given for undertaking work represents an educated guess based on apparent conditions existing at the time of our report. Failure of the item, or the optimum repair/replacement process, may vary from our estimate. We accept no responsibility for any decisions made or actions taken as a result of this report unless we are specifically advised of and participate in such action, in which case our responsibility will be as agreed to at that time. Any user of this report specifically denies any right to claims against the Consultant, Sub-Consultants, their Officers, Agents and Employees in excess of the fee paid for professional services.



ATTACHMENTS

**Photographic Log for Barn Assessment
2187 Gordon Street, Guelph
November 14, 2018**



Photograph No. 1 – North wall at failed foundation wall.



Photograph No. 2 – North foundation wall failure



Photograph No. 3a – Failed foundation wall, floor beams unsupported



Photograph No. 3b – Failed foundation wall, floor beams unsupported



Photograph No. 4 – Bowing of North foundation wall



Photograph No. 5 – Door framing above failed foundation wall (interior view of north wall)



Photograph No. 6 – East Stone wall cracked, timber rot



Photograph No. 7 – East Stone wall of Original Building (now interior wall), cracked



Photograph No. 8 – West Exterior Stone wall (interior view), cracked



Photograph No. 9 – East Stone wall of Original Building (now interior wall), cracked



Photograph No. 10 – Unsafe, damaged floor boards



Photograph No. 11 – Unsafe floor boards, rotted floor beam



Photograph No. 12– Mezzanine and West wall framing (fair condition)



Photograph No. 13 – Superstructure barn roof framing (fair condition)



Photograph No. 14 – Rotted floor beam, potential fall hazard



Photograph No. 15– Partially rotted floor beam, missing wall boards



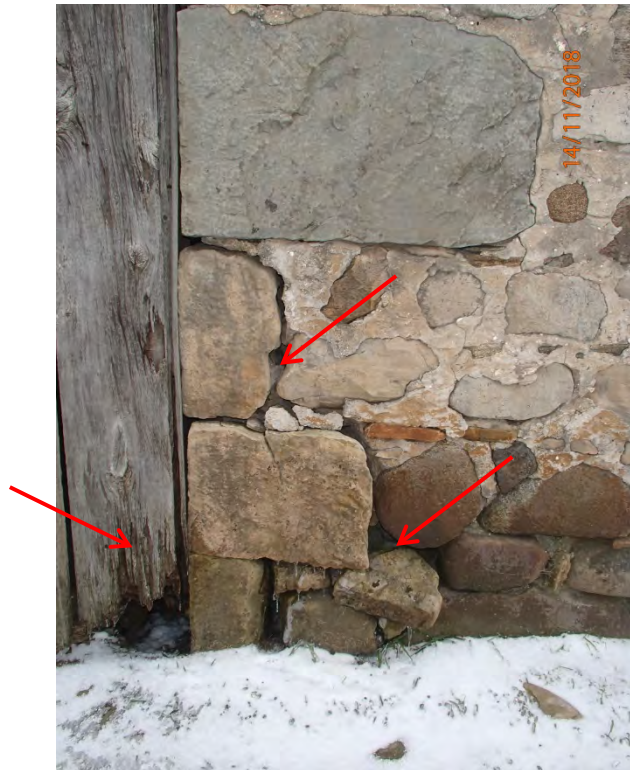
Photograph No. 16– Cracked lintel stones (South wall)



Photograph No. 17– West stone wall, cracks present but true (vertically plumb)



Photograph No. 18 – Northwest corner, thru crack in stone wall



Photograph No. 19 – Stone wall mortar deterioration (North), rotted barn boards



Photograph No. 20 – Northeast corner, fair condition



Photograph No. 21 – Southeast corner, fair condition



Photograph No. 22 – South wall, cracked stone over wood lintel



Photograph No. 23– Crack at lintel, inadequate bearing (south wall)

APPENDIX C – MTE – BARN STRUCTURAL CONDITION RE-ASSESSMENT, 2021



MTE Consultants

520 Bingham Centre Drive, Kitchener, Ontario N2B 3X9

June 28, 2021

MTE File No.: C42311-700

Mr. Alex Drung
Senior Land Development Manager
2575950 Ontario Ltd.
Halton/Hamilton Division
433 Steeles Avenue East, Suite 110
Milton, ON L9T 8Z4

Dear Mr. Drung:

RE: Barn – Structural Condition Re-Assessment
2187 Gordon Street, Guelph, Ontario

Further to our structural condition assessment report dated November 27, 2018, and at your request Paul Slater, P.Eng. of MTE Consultants Inc. conducted a second follow up visual structural condition assessment of the barn at the above noted address on April 21, 2021. The purpose was to re-assess the known failure of the north foundation wall, and to see if the general condition of the barn has changed since 2018. Photographs are appended that compare the past condition to the date of our visit.

Observations

The condition of the stone foundation wall below the barn entrance door has worsened in that more of the adjacent wall at the door limits have fallen into the lower level (see Photographs 1, 2). The remnant of the top of the stone foundation wall that was suspended by the floor in 2018 has since collapsed (Photographs 3, 4). The floor framing has further sagged down and is unsafe to walk upon (Photograph 6). The damaged section of the foundation wall will need to be reconstructed if the barn is to be saved.

The condition of the stone foundation wall west of the above noted failure site, which was observed in 2018 to be bowing inward most notably near the bottom third has not changed significantly. This is not an immediate concern, but ultimately, this section of foundation wall should be reinforced if the barn is to be saved.

The upper stone wall at grade supporting the roof, east of the barn door and foundation wall failure site, has a significant diagonal crack and the wall is bowing inward (Photographs 7 to 10).

Observations made inside the barn indicate that the west and east portions of the wall on either side of the crack are rotating evidenced by the interior crack opening up (see Photograph 10). Further evidence of this is the crack in the adjacent abutting wall has opened up as the north wall has rotated (see Photographs 11, 12).

The cracks were observed in 2018, but the opening of the cracks is a new observation. Predicting whether or when the wall could collapse is not possible, but a partial collapse in this

area of the barn is possible with further foundation loss and a severe wind condition. If the barn is to be maintained, this wall, floor and foundation wall should be shored as a precaution. The stability of the wall may worsen if left unbraced. If long term preservation of the barn is decided, the connection to the roof rafters should be fortified and the condition of the stone foundation wall confirmed once the debris is removed from the failure site below the barn door.

Wood rot, loose or missing floor boards appeared to be worse now compared to our last visit in 2018.

Several cracks observed in the stone walls and stone lintel beams over doors have not worsened since 2018. Nevertheless, we re-iterate our recommendation that the lintels be stored in the interim.

Several more exterior barn boards have fallen off. Again, these areas present a risk of people falling out (~8' drop) to grade below (Photographs 13, 14).

Discussion

The overall condition of the majority of the barn is fair. However, the condition of the few areas identified in the 2018 assessment have worsened. Specifically, the west portion of the barn is unsafe due to the collapsed portion of the foundation wall and ill-supported main floor. Missing and damaged floor boards and wall boards also create unsafe conditions in the east portion of the building. There is potential for the cracked lintels to fail if the wood framing is dislodged.

Recommendations

We recommend that, at a minimum, all doors and other openings for potential access be boarded up to prevent anyone accessing the building until the future of the barn is decided. A new wood framed hoarding wall should be erected below the overhanging floor shown in Photograph 13. This is needed to prevent anyone from accessing the space below this damaged floor area. The other deficiencies noted in the report should be addressed if the barn is to be maintained.

The recommendation in our November 2018 assessment report to place a reinforced concrete wall on the interior of the north foundation wall is still valid given the bowing nature of the wall. This should be done ultimately if the barn is to be saved.

We recommend the following measure be done until a decision is made regarding the future of the barn:

Shoring

There is potential for the bowing condition of north foundation wall and the stone wall supporting the roof (Photograph 10) to worsen. As a precaution to prevent a partial collapse in this area, shoring could be placed in the interim until the future of the barn is decided.

Ultimately, the damaged section of the foundation wall needs to be reconstructed and the adjacent portions of the bowing foundation wall reinforced on the interior if the barn is to be saved.

We have provided a concept sketch of the shoring, appended, following the photographic log. This temporary wood shoring would need to be anchored to the masonry wall, floor and outside at grade.

If you have any questions, please contact the undersigned.

Yours truly,

MTE Consultants Inc



Paul Slater, P.Eng.

Division Manager, Building Structures

519-743-6500 Ext. 1240

pslater@mte85.com

PAS: apm

Attach

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Limitations

This report has been prepared by MTE Consultants Inc. (MTE) at the request of 2575950 Ontario Ltd. The material in it reflects the best judgment of MTE in light of the information available at the time of preparation. Any use which a third party makes of this report, or any reliance on or decisions made based on it, are the responsibility of such third parties. MTE accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report.

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Budget figures are our opinion of a probable current dollar value of the work and are provided for approximate budget purposes only. Accurate figures can only be obtained by establishing a scope of work and receiving quotes from suitable contractors. Any time frame given for undertaking work represents an educated guess based on apparent conditions existing at the time of our report. Failure of the item, or the optimum repair/replacement process, may vary from our estimate. We accept no responsibility for any decisions made or actions taken as a result of this report unless we are specifically advised of and participate in such action, in which case our responsibility will be as agreed to at that time. Any user of this report specifically denies any right to claims against the Consultant, Sub-Consultants, their Officers, Agents and Employees in excess of the fee paid for professional services.



Photograph No. 1 – Foundation wall condition in 2018



Photograph No. 2 – Foundation wall condition in 2021



Photograph No. 3 – North wall (lower level) condition in 2018



Photograph No. 4 – North wall (lower level) condition worsened: loss of more stone wall; floor support



Photograph No. 5 – North wall (lower level – Left bearing) condition in 2018



Photograph No. 6 – North wall (lower level – Left bearing) condition worsened: loss of more stone wall; floor support



Photograph No. 7 – North Stone Wall (upper) condition in 2018



Photograph No. 8 – North Stone wall (upper) further Deterioration and loss



Photograph No. 9 – North wall (main floor) condition in 2018



Photograph No. 10 – North wall (main floor) has moved in; crack worsened, opening up



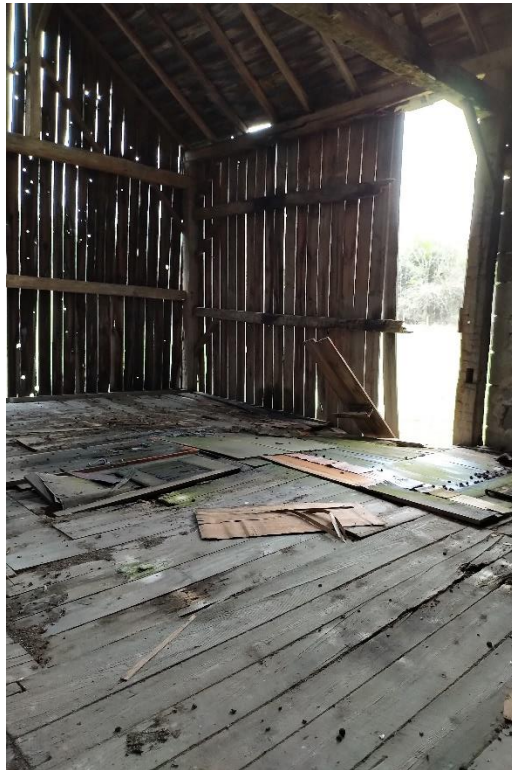
Photograph No. 11 – Crack interior, condition in 2018



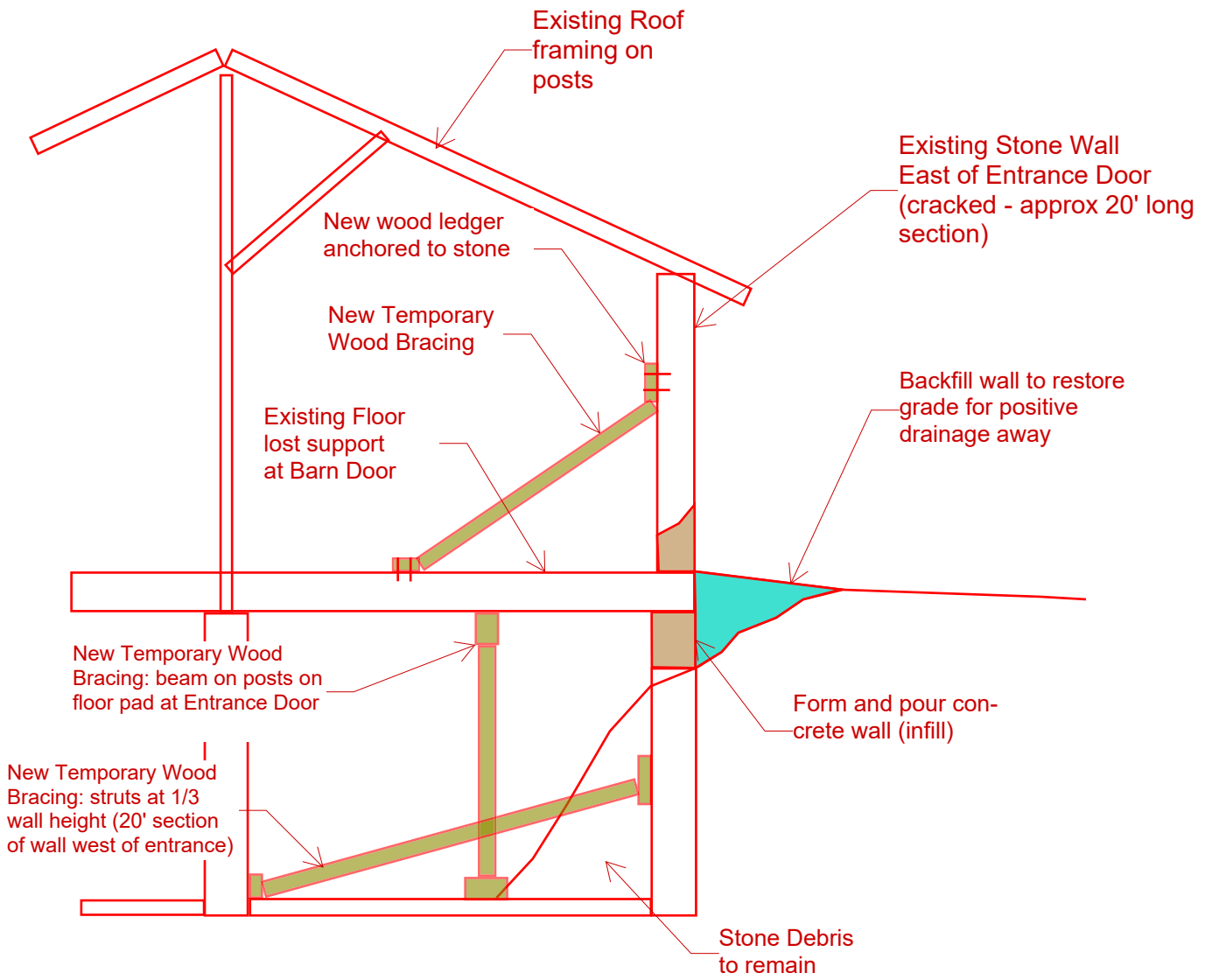
Photograph No. 12 – Crack opened wider due to north wall rotation inward



Photograph No. 13 – Condition of wall and floor in 2018



Photograph No. 14 – More wall boards lost; floor condition worsened



Concept of Shoring
Designed by Others

**APPENDIX D – MTE – 2187 GORDON
STREET BARN – STRUCTURAL ASSESSMENT,
2024**



January 23, 2024

MTE File No.: C42311-700

Jennifer Meader
Turkstra Mazza Associates
15 Bold Street,
Hamilton, ON L8P 1T3

Dear Jennifer:

RE: 2187 Gordon Street Barn – Structural Assessment

1.0 Introduction

MTE Consultants Inc. (MTE) has been retained by 2575950 Ontario Ltd. (2187 Gordon Street) to review the barn structure. The purpose of this technical memorandum is to complete a structural condition assessment of the existing barn located at 2187 Gordon Street, and to recommend if the barn should be maintained or demolished.

Paul Slater, P.Eng. of MTE Consultants Inc. visited the barn at the above noted address on July 26, 2023 following the collapse of the north stone wall. The report presents the deficiencies in the Photographic Log attached.

This technical memorandum presents our structural assessment and advice from consultations with restoration and demolition contractors.

The scope of this work includes a review of the structural systems; deficiencies; and discusses options for restoration, replacement, or partial demolition and reconstruction, or complete demolition.

Comments and recommendations in this condition assessment consider the economic value of the barn structure, rather than the heritage value which is covered by the Heritage Impact assessment completed by others.

2.0 Background

Paul Slater, P.Eng. completed a previous structural condition assessment of the barn in 2018. Reference is made to letter report dated Nov 27, 2018. The unsafe condition of the barn was identified in 2018 and measures to secure the building to prevent access were implemented.

The purpose of the present technical memo is to provide a summary of the current structural condition and deficiencies observed and to comment regarding feasibility and practicality of meeting the City of Guelph Order to Comply dated July 27, 2023, to secure the remaining roof and stone walls and prevent water entry through the building envelope.

The work completed is a visual condition assessment. No structural analysis or testing (destructive or non-destructive), or Building Code review, was undertaken.

3.0 Structural Condition

3.1 Barn Construction

The barn appears to have been constructed in two stages: the original stone wall building (west); and subsequently, the larger post and beam barn addition to the east. The exterior grade is high along the north side of the building at the main floor elevation and slopes down along the east and west walls to provide grade level with the basement floor along the south wall. All foundation walls are field stone. A large barn door provides access from grade into the east timber framed barn. A similar door provided access into the west stone walled portion of the barn but has been lost along with the north stone wall, which collapsed.

3.2 North Wall – Stone Wall Barn

The north stone wall collapsed in July 2023 falling onto the main floor, which in turn collapsed into the basement as a result (Photographs 1-4). The roof framing is supported in part by the two interior timber frames which are now in a vulnerable state having lost the support of the stone wall. The north stone wall was approximately 50' long and 21" thick. Portions of the basement foundation wall collapsed as well.

3.3 Main Floor – Stone Wall Barn

The floor beams adjacent to the north stone wall collapsed under the weight of the collapsed north stone wall. The floor girder supporting these beams also failed (cracked) and pulled away from the supporting stone foundation wall. As a result, the lateral bracing of the stone walls has been compromised (Photographs 4, 5), significantly impacting the structural integrity of this wall.

3.4 Stone Walls

Large vertical cracks in the remaining stone walls were observed (Photographs 6, 7). Evidently, attempts to repair/fill these cracks have been made in the past. The cracks do not present a concern given the thickness of the wall. However, considering the loss of floor connection and bracing of the wall by the floor, the stone wall in the area of the collapse is vulnerable to collapse given the pressure of the debris against the wall.

3.5 Southwest Area – Timber Framed Barn

The timber framing in the southwest corner of the barn is in very poor condition. This would include the floor beams and floorboards, wall girts and roof beams. The exterior floor beam, in particular, which is exposed to weather given the overhang, is cracked, rotted and has sagged given the deterioration (Photographs 9-13). The sagging of this exterior floor beam is shown in Photograph 12.

The roof beam and wall girts have also rotted, have compromised capacity and do not completely span post-to-post. Photograph 13 shows missing roof cladding which has led to the rotting of the main floor members below.

The interior post shown in Photograph 9 adjacent to the stone wall is out of plumb at least 12" over its height. This upper post bears on the damaged exterior floor beam (Photo 12), which in turn bears on the basement post shown in Photograph 11, which is also leaning. Given the deterioration and post misalignment, there is potential for this area of the building to become unstable and collapse. This area of the building is considered unsafe for any occupancy.

The timber beam shown in Photograph 7 has evidence of rot (see blackened area, adjacent to north wall collapse site). This beam forms an integral part of the timber frame of the barn resisting lateral loads, and the rot compromises its capacity to brace the building.

3.6 Main Floor – Timber Framed Barn

There are several areas of the floor in this portion of the barn with missing, damaged or structurally compromised floor beams and boards (Photographs 9, 14).

3.7 Exterior & Roof

Several cracks were observed in stone lintel beams over doors in the south wall. Lintels are presently supported by arching action and wood door framing (Photographs 15, 17, 18). There is potential for the door lintel to fail, should the wood framing be dislodged or wood deterioration advance.

Mortar deterioration, cracks and missing fieldstones were observed in the stone foundation wall at several locations throughout the perimeter of the building (Photograph 16).

Loose and missing exterior wall barnboards were observed throughout, as well as metal roof cladding (Photographs 13, 14). The areas adjacent to these openings have experienced more rot and deterioration given their exposure to weather.

Missing barnboards presents a fall hazard for occupants with an 8' to 10' drop to grade below (Photograph 14).

4.0 Discussion

The stone walled west portion of the barn is unsafe due to the collapsed portion of the north stone walls (upper and basement) and partially collapsed main floor framing. The steel roof has lost its support in part with the collapse of the north stone wall. It is now cantilevered and vulnerable to collapse from either snow or wind loads, and if the roof does collapse, it would likely damage, weaken or pull down portions of the remaining stone walls.

The north stone wall collapsed without significant damage to the roof members, which suggests inadequate connection between the roof framing members and the stone walls. It is unsafe to enter the building with a manlift given the unsafe condition of the floor. Similarly, it is unsafe to assess and verify the condition of floor beams embedded in stone walls given the collapsed floor. Thus, at present the condition of these areas are unknown, and other walls could be at risk of collapse if connections are found to be weak at floor and/or roof levels.

Missing and damaged floorboards and wall boards also create unsafe conditions in the east portion of the building. The City of Guelph Order (Item 5) to ensure the wood siding is free from any holes or other defects is unrealistic given the nature of barnboards. It is unreasonable to expect the exterior of the building to meet performance levels of a present day designed "building envelope". Rainwater has and will continue to enter through pre-existing gaps and knot holes in barnboards.

The barn is unsafe in its present condition due the observations noted above. The work requested by the City of Guelph as part of the order to comply cannot be completed in a safe manner under the present condition of the floor and roof structures. There is risk of further collapse and potential liability to contractors who would attempt to shore the building from the interior. Working under the unsupported cantilevered roof is unsafe. Demolition and reconstruction of approximately half the building would be necessary. First, the north half of the roof would need to be shored and cut along the ridge and removed in order to safely work to remove the collapsed debris in the basement. The basement foundation wall and floor beams would need to be reconstructed and the north stone wall and roof would need to be rebuilt. In the interim, expensive shoring of the roof ridge and stone walls would need to be erected.

The southwest corner of the wood framed barn is unsafe given the deterioration, compromised structure and potential instability. Having workers install bracing and shoring in this vulnerable area of the building would put them at risk. Considering the condition of the framing, this corner of the building including the roof, having an area of approximately 21' x 21', will need to be reconstructed. Several other rotted beams elsewhere will need to be replaced (e.g. shown in Photograph 7).

There is potential for the cracked lintels observed in the foundation wall exterior to fail if the wood framing is dislodged.

4.1 Restoration

Restoration of the barn to an appropriate level would be challenging, risky, expensive and would require partial demolition and reconstruction. The restorations contractors contacted have reservations and reluctance in undertaking this work due to the present unsafe condition of the building.

One restorations contractor and one demolition contractor visited the building and offered verbal opinions, but to date no one has provided a formal quotation or confirmed their availability to complete the work to meet the timing conditions of the Guelph Order. One contractor offered a verbal opinion estimating the restoration to be more than \$1.5 million to restore the building to a safe and serviceable condition in keeping with the original purpose of the barn.

This figure would increase if during restoration other embedded wood members are found to be rotted within the stone walls. MTE was unable to assess the high-level beams for rot as it is unsafe to do so given the floor condition. Given the nature of the barn construction with wood members embedded directly in the stone wall, and the openness of barnboard cladding, the restoration noted above when and if completed would not guarantee further deterioration from occurring or advancing. It is our opinion that the cost of repair and restoration is disproportionate with the economic value of the structure.

Due to the risk and liability to workers as well as the financial cost of restoration compared to the structure's economic value it is our opinion that the building should be demolished.

4.2 Interim Protection

The City of Guelph has ordered that an engineered solution be put in place to secure the remaining roof and stone walls to prevent further deterioration or collapse. At the time of this report, winter snow is present at the site and can easily enter the barn at the north wall collapse site and through roof and wall openings. The opportunity to practically build an enclosure for this winter (January to March 2024) has been missed.

A plan to provide interim protection to properly plan the restoration is described in Appendix A. It involves the temporary bracing, shoring and a partial enclosure to slow deterioration. The plan is expensive, comes with risk to contractors, and is not helpful as there is no guarantee of preventing further deterioration.

4.3 Reclamation

Water and moisture penetration into the wall mortar leads to the deterioration of the stone wall. With every freeze-thaw season of uncontrolled penetration, the deterioration of the stone walls and rot of wood advances at an accelerated rate. The window of time for reclaiming valuable wood is declining as well.

There is no long-term remedial solution that is practical or economical to restore the barn to its original state considering the present damaged condition. However, it is advisable to reclaim the valuable structural materials that are still presently in good condition. These materials or components could be repurposed, sold, or relocated and rebuilt into a commemorative structure at another location.

5.0 Conclusions and Recommendations

The original barn was designed and constructed for low human occupancy, storage of hay and shelter for horses, with basic barn materials and methods. The present structural condition has declined and is seriously compromised in several key areas and is not safe for any occupancy.

Both the wood structure and stone wall structure have deteriorated in recent years leading to the collapse of the north wall. Deterioration and rot is now advancing in an accelerated manner.

Reconstruction of the north half of the stone barn which has collapsed is required.

The southwest corner of the wood framed building approximately 21' x 21' is structurally compromised, vulnerable to collapse and must be reconstructed.

Restoration of the barn is impractical and cost prohibitive.

The amount of undamaged structure that could be reclaimed is declining. The opportunity to reclaim such structure is declining at an accelerated rate. For this reason, it is recommended that demolition and reclamation of useful undamaged materials be done at the earliest opportunity, for which summer 2024 is suggested.

6.0 Limitations

This report has been prepared by MTE Consultants Inc. (MTE) at the request of 2575950 Ontario Ltd. (2187 Gordon Street). The material in it reflects the best judgment of MTE in light of the information available at the time of preparation. Any use which a third party makes of this report, or any reliance on or decisions made based on it, are the responsibility of such third parties. MTE accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report.

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We accept no responsibility for any decisions made or actions taken as a result of this report unless we are specifically advised of and participate in such action, in which case our responsibility will be as agreed to at that time. Any user of this report specifically denies any right to claims against the Consultant, Sub-Consultants, their Officers, Agents and Employees in excess of the fee paid for professional services.

Yours truly,

MTE Consultants Inc.



Paul Slater, P.Eng.

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Encl.

cc: Brad Trussler, 2575950 Ontario Ltd.

Michael O'Donnel, 2575950 Ontario Ltd.

Steve Peterson, MTE Consultants Inc.

Jeff Martens, P.Eng., MTE Consultants Inc.

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Appendix A

Interim Protection

APPENDIX A: INTERIM PROTECTION

Actions that could be done to reduce (but not eliminate) further damage:

1. Remove the cantilevered metal roof via boom truck with workers in buckets cutting from above. This is essentially half the metal roof from the ridge to the collapsed north wall (48' x 18'). This will remove the threat of roof collapse.
2. Along the ridge, construct a temporary hoarding stud wall, sheathed and tarped to enclose half the stone walled barn. With the removal of the metal roof, a new hoarding wall will also be required to enclose the opening over the east stone wall and remaining roof.
3. Tarp over the stone walls whose tops are now exposed due to the removal of the roof (north half). Via bucket truck.
4. Tarp over the collapsed floor from north hoarding wall to north grade to prevent snow and moisture from entering the floor structure.
5. Southeast Wall: Construct a stud wall, sheathed and tarped; lift it up and place it beside the damaged wall to reduce water infiltration.
6. Board up large holes in cladding (entire perimeter); installed from exterior via boom truck/cherry picker.
7. Place metal roof cladding from above, screwed down into timber, with water tight screws, via lift and operator; do not permit workers on roof.

Please be aware that water infiltration will still happen given the open nature of the barn boards. Future deterioration will be slowed, but not prevented. Making these repairs via bucket truck is necessary, but not ideal and comes with limited effectiveness.

Photographic Log



Photograph No. 1 – North Wall Collapsed – unsafe to shore



Photograph No. 2 – Unsafe to Shore or work under – Steel Roofing missing



Photograph No. 3 – Damaged roof members; missing metal roof cladding



Photograph No. 4 – Collapsed North wall – unsafe to shore



Photograph No. 5 – Collapsed North wall - unsafe to shore



Photograph No. 6 – Stone Wall Cracked, Unsafe to work around



Photograph No. 7 – Stone Wall poorly braced at top – damaged timber (rot)



Photograph No. 8 – Taken 2018-11-14 - Condition worse today; floor and wall members compromised, unsafe



Photograph No. 9 – Southwest framing - floor and wall members compromised, unsafe



Photograph No. 10 – Floor and wall members compromised, unsafe



Photograph No. 11 – Structurally Compromised Floor Beam; Lower and Upper Posts vulnerable to collapse



Photograph No. 12 – Floor beam cracked, sagging, unsafely supporting upper column



Photograph No. 13 – Unsafe to work on roof cladding



Photograph No. 14 – Floor, wall boards and framing unsafe



Photograph No. 15 – Cracked lintels (South wall)



Photograph No. 16 – Stone wall mortar deterioration (North), rotted barn boards



Photograph No. 17 – South wall, cracked stone over wood lintel



Photograph No. 18 – Crack at lintel, inadequate bearing (south wall)

**APPENDIX E – MTE – 2187 GORDON
STREET CONCEPTURAL GRADING REVIEW**

Gordon Street is to be a 32.0m wide municipal right-of-way. The existing right-of-way width fronting the house is approximately 30.3m. The existing right-of-way width fronting the barn is approximately 39.4m. A right-of-way widening will be required at the cross-section where the house is located. Assuming the required 1.7m widening is split on either side of the right-of-way, a resulting 0.85m of widening is required on the 2187 Gordon Street property. Following the right-of-way widening, the east face of the house would be approximately 7.2m from the edge of the right-of-way. No widening is required at the cross-section at the location of the barn.

3.0 Grading and Stormwater Management

The MESP outlines Stormwater (SWM) strategy design alternatives for the Clair Maltby Community and designates Alternative 5 as the preliminary preferred alternative, which is a combination of Alternatives 1 - 4. SWM strategy Alternative 5 combines at-source stormwater controls such as LID infrastructure and infiltration, along with end-of-pipe stormwater capture areas. The storm catchment area 111-SW shown on Figure 3.3.5 of the MESP (attached) shows that the entirety of the subject lands are proposed to be drained to a SWM Facility (SWMF) located centrally within the catchment, at a proposed permanent pool elevation of 338.00. The rim elevation of the SWMF will be approximately 341.0.

The proposed Conceptual Grading Plan is shown on **Figure 3.1**.

The existing barn located in the Gordon Street Strategic Growth Area has existing grades ranging from 343.6 on the north side to 340.5 on the south side. The existing house, also located in the Gordon Street Strategic Growth Area, has existing grades ranging from 345.9 on the north side to 345.4 on the south side. Both the existing barn and house structures are significantly below the Gordon Street centreline. Gordon Street adjacent to the subject lands has road grade elevations ranging from 345.4 to 348.9 with the centreline elevations immediately adjacent to the barn and house being 346.8 and 346.2, respectively. In order to manage stormwater and meet the recommended criteria in the MESP, buildings in this area should be 0.5m higher than the centreline road grade, to prevent creating a low point and to direct drainage to Gordon Street. The area around the house and barn will require fill up to 7.0m and will be sloped from south to north, as well as west to east towards Gordon Street.

Grading required to maintain the existing elevation surrounding the existing barn and house structures cannot be supported from a grading and stormwater management perspective, and would not allow this property to be developed in accordance with the policies in the CMSP and criteria as outlined below;

- The proposed permanent pool elevation of the SWMF is 338.0;
- A low point to the south of the barn would need to be above 343.0;
- The cover required over stormwater infrastructure would result in maximum pipe inverts of 341.0;
- The distance between the barn and the SWMF is 300m and would require 1.5m of fall for a 0.5% slope;
- The proposed rim elevation of the SWMF is 341.0 and the freeboard of 341.3;
- There is an existing high point of 343.0 between the barn and SWMF;
- An overland flow route to the SWMF would require a minimum elevation of 345.0 south of the barn to meet the intent of the Gordon Street Strategic Growth Area.
- If the existing barn is retained in-situ, drainage would be directed to the depression surrounding it without having an outlet.



Given the planning objectives of the Gordon Street Strategic Growth Area and criteria recommended in the MESP for stormwater management and road grading, the barn and house will need to be removed to avoid creating a localized low point in this area, which would result in a stormwater management design not recommended by the MESP.

3.1 Sanitary Servicing Review

The MESP outlines the preferred sanitary servicing alternative for the Clair Maltby Community entitled the Southgate Hanlon Trunk. This strategy results in the subject lands being serviced by a local sanitary sewer that runs south to north along Gordon Street. The existing grade of Gordon Street ranges from 348.0 to 346.0 adjacent to the subject lands. This is significantly higher than the existing grade of the subject lands as shown on Profile A-A on **Figure 3.2**. It is assumed that the sewer will be designed to have the minimum cover as per City standards (2.7m depth) to minimize costs and maintain a standard urban ROW cross-section. With standard design practices, this results in sanitary sewer obverts in the area ranging between 345.3 and 343.3. This is significantly higher (3-5m) than the existing low point of 340.5 located at the southeast corner of the barn. Without any significant grading in this area the sanitary sewer would need to have an obvert of 337.8, resulting in sanitary sewer grades up to 10m deep along Gordon Street, adding significant costs to the Community.

To provide a gravity sanitary outlet for the subject lands, without the need for overly deep sewer construction, the finished grade surface of the high-density residential blocks should be at least 0.5m higher than the centreline road elevation of Gordon Street. This requires a minimum grade of 347.7 (5.5m higher than existing) at the west side of the barn as shown on Profile B-B on **Figure 3.2**, and a minimum grade of 346.5 (1.2m higher than existing) at the west side of the house as shown on Profile C-C on **Figure 3.3**.

As shown on **Figure 3.4**, preliminary area grading necessitates placement of up to 7.0m of fill for development to occur in the subject area, and as a result, the barn and house structures should be removed to facilitate efficient use of municipal infrastructure and the grading required to support the Gordon Street Strategic Growth Area.

4.0 Recommendations

Based on the Policies in the CMSP and criteria outlined in the MESP, the following recommendations are made:

1. Grading in the southeast corner of the subject lands requires fill areas of up to 7.0m.
2. Removal of the barn and house on the property located at 2187 Gordon Street is necessary to accommodate proposed grading, along with proposed storm and sanitary servicing, in accordance with the preferred development strategies outlined in the MESP.

Attachments

MESP Figure 1.10

MESP Figure 3.3.5

MTE Figure 1.1

MTE Figure 3.1

MTE Figure 3.2

MTE Figure 3.3

MTE Figure 3.4



Figure 1.10. Updated Preferred Community Structure, May 2019

PREFERRED COMMUNITY STRUCTURE: Council Endorsed May 13, 2019

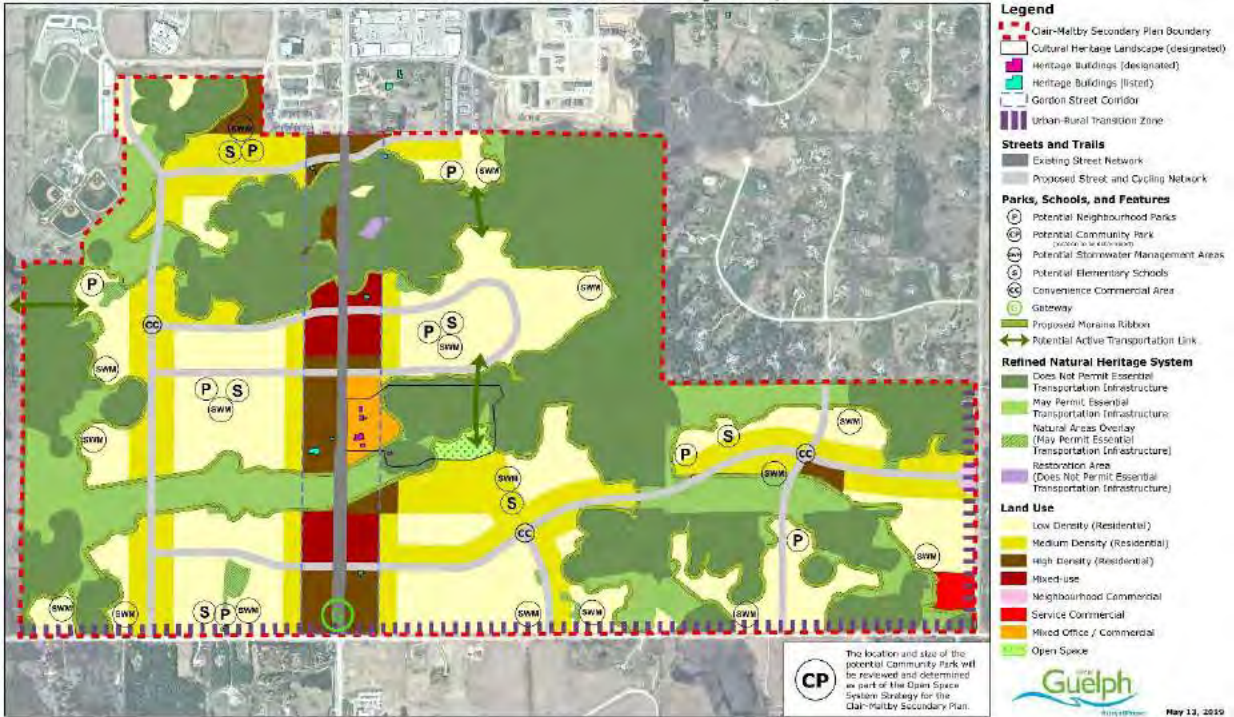
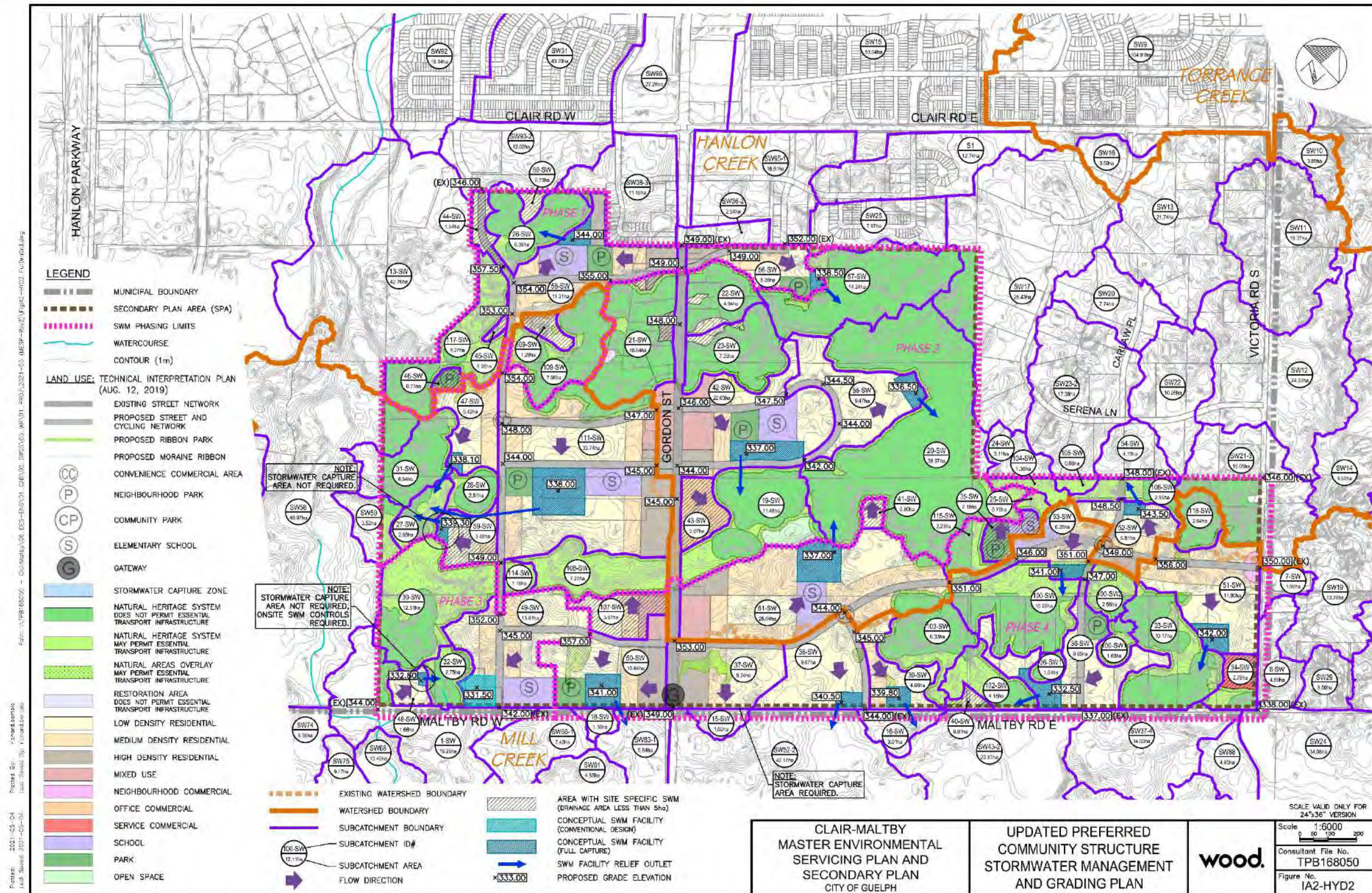


Figure 3.3.5. Preliminary Stormwater Management and Conceptual Grading Plan



February 3, 2022 - 3:28:02 PM - Plotted By: Gary Honsberger

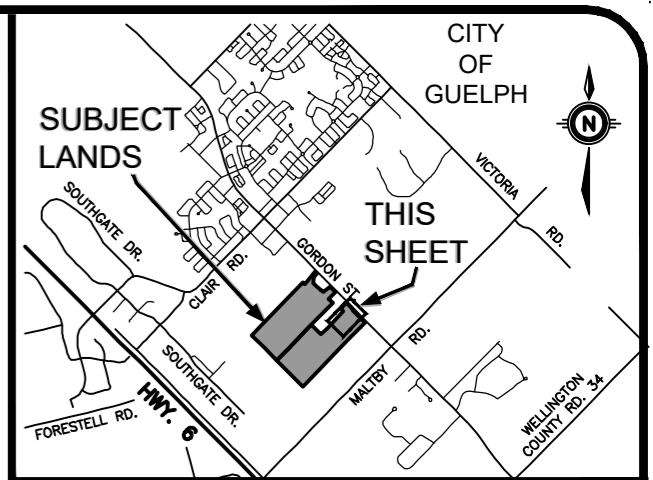
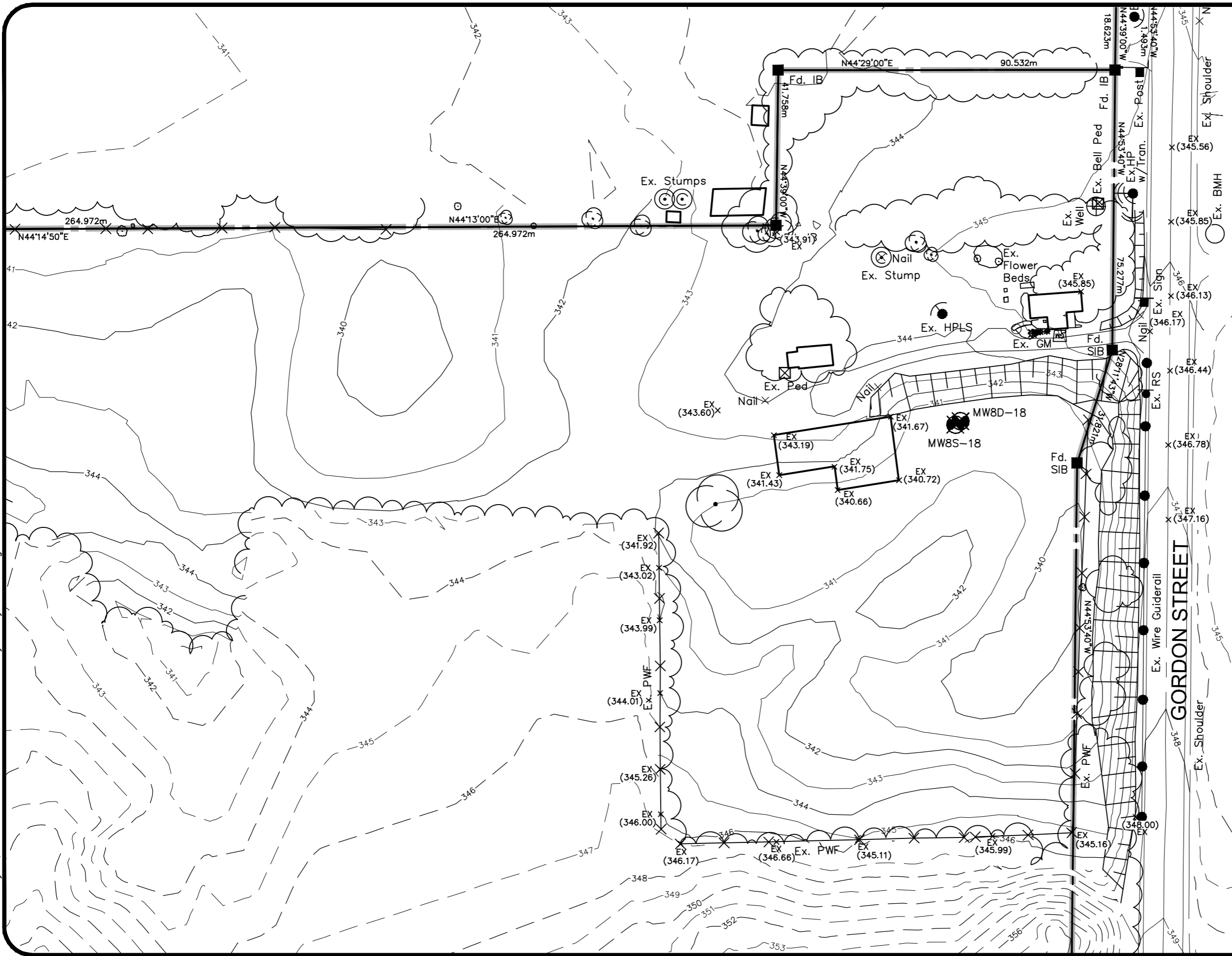


FIGURE 1.1 Date: FEB. 2/2022
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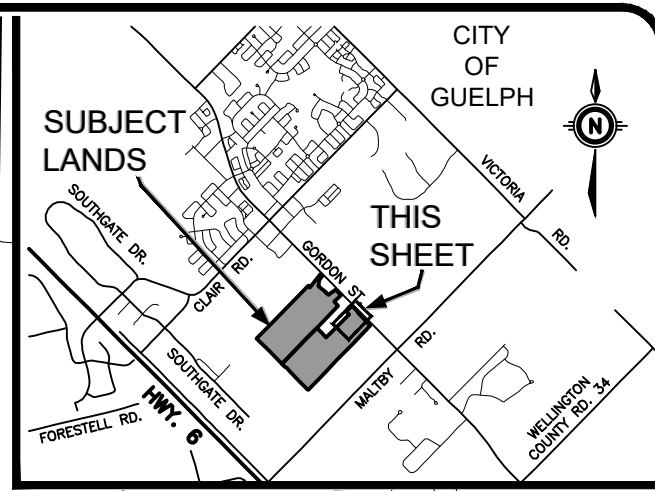
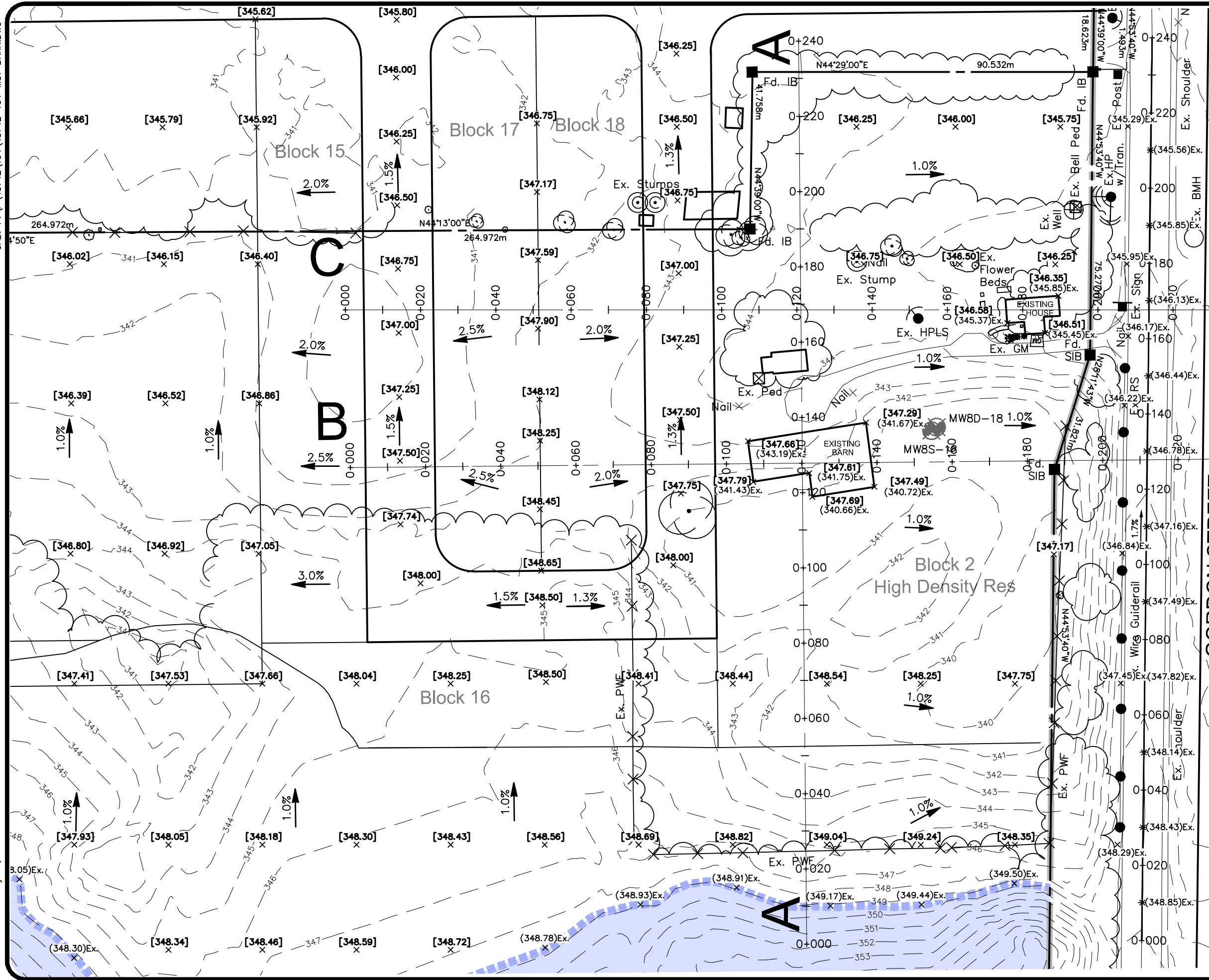
257595 ONTARIO LTD.
2187 GORDON ST.

EXISTING CONDITIONS



Engineers, Scientists, Surveyors

Project No.: 43742-104-MS7.dwg



LEGEND

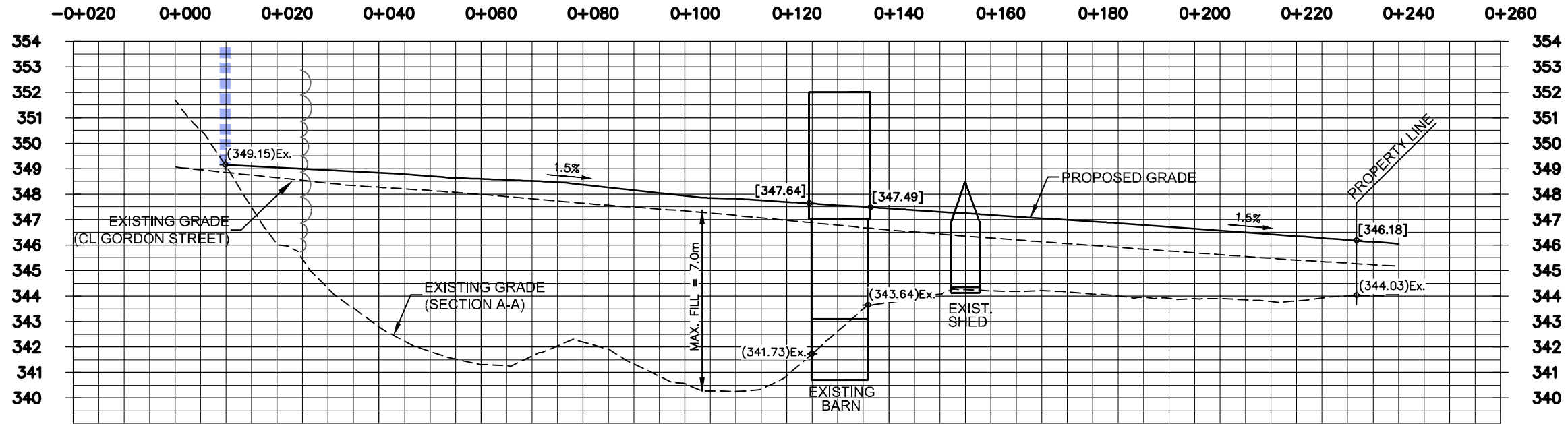
- SITE BOUNDARY
- PROPOSED LIMIT OF SIGNIFICANT LANDFORM
- EXISTING SPOT ELEVATIONS/CONTOURS
- PROPOSED SPOT ELEVATIONS
- PROPOSED DIRECTION OF DRAINAGE

MTE
Engineers, Scientists, Surveyors

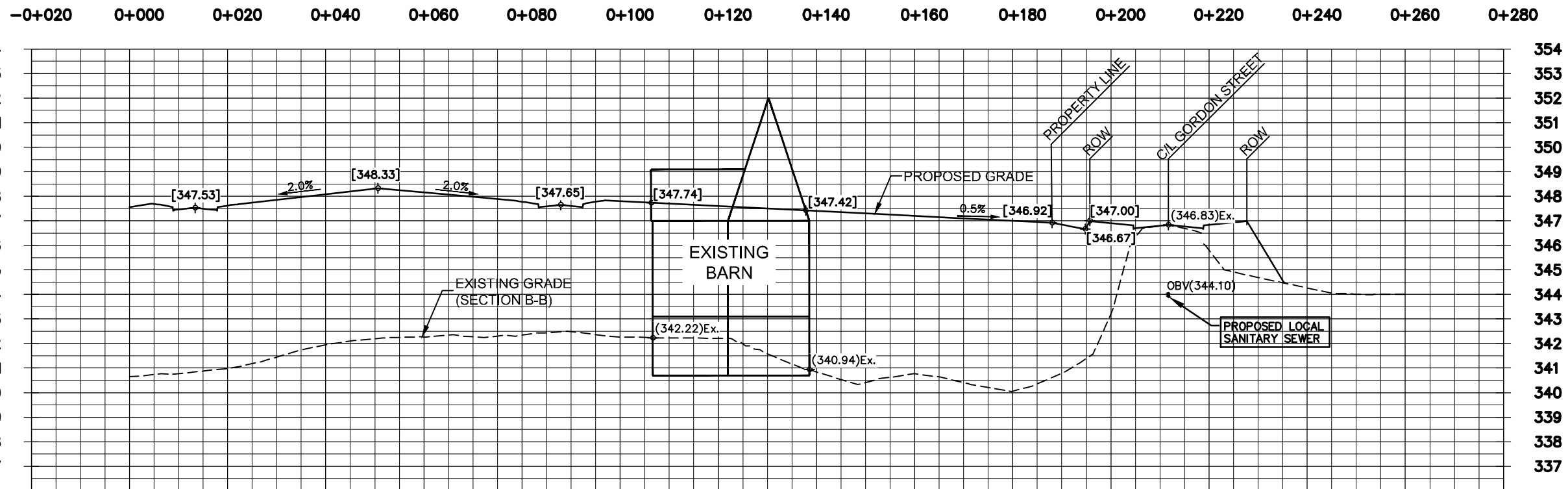
PROJECT
257595 ONTARIO LTD.
2187 GORDON ST.

TITLE
CONCEPTUAL GRADING

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Checked KXK	Project No. 43742-104	
Date 2024-01-23	Rev No. 0	



SECTION A-A



SECTION B-B

LEGEND

- PROPOSED LIMIT OF SIGNIFICANT LANDFORM
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- PROPOSED DIRECTION OF DRAINAGE

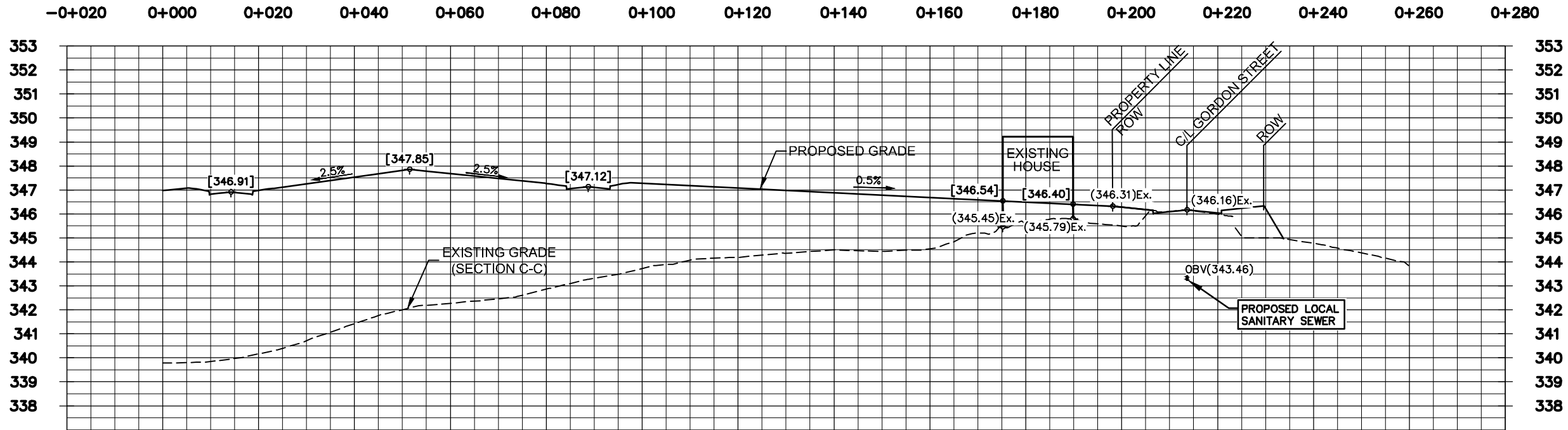
TO BE READ IN CONJUNCTION WITH FIGURE 3.1

MTE
Engineers, Scientists, Surveyors

PROJECT
257595 ONTARIO LTD.
2187 GORDON ST.

TITLE
CONCEPTUAL GRADING
PROFILES

Drawn GEHWSS	Scale 1:1000	Figure 3.2
Checked KXK	Project No. 43742-104	
Date 2024-01-23	Rev No. 0	



SECTION C-C

LEGEND

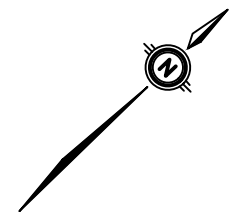
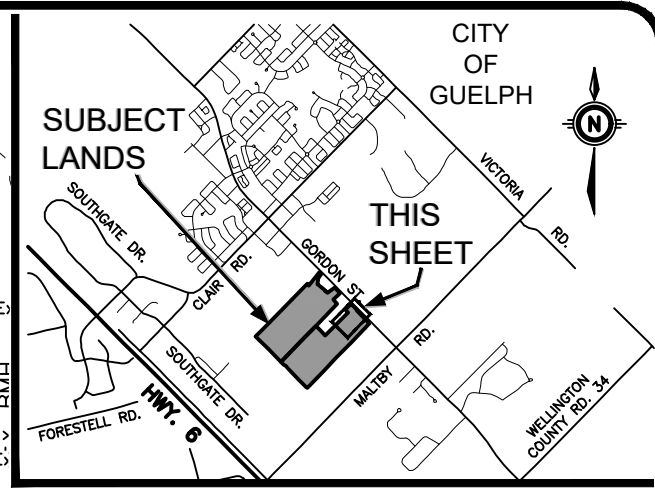
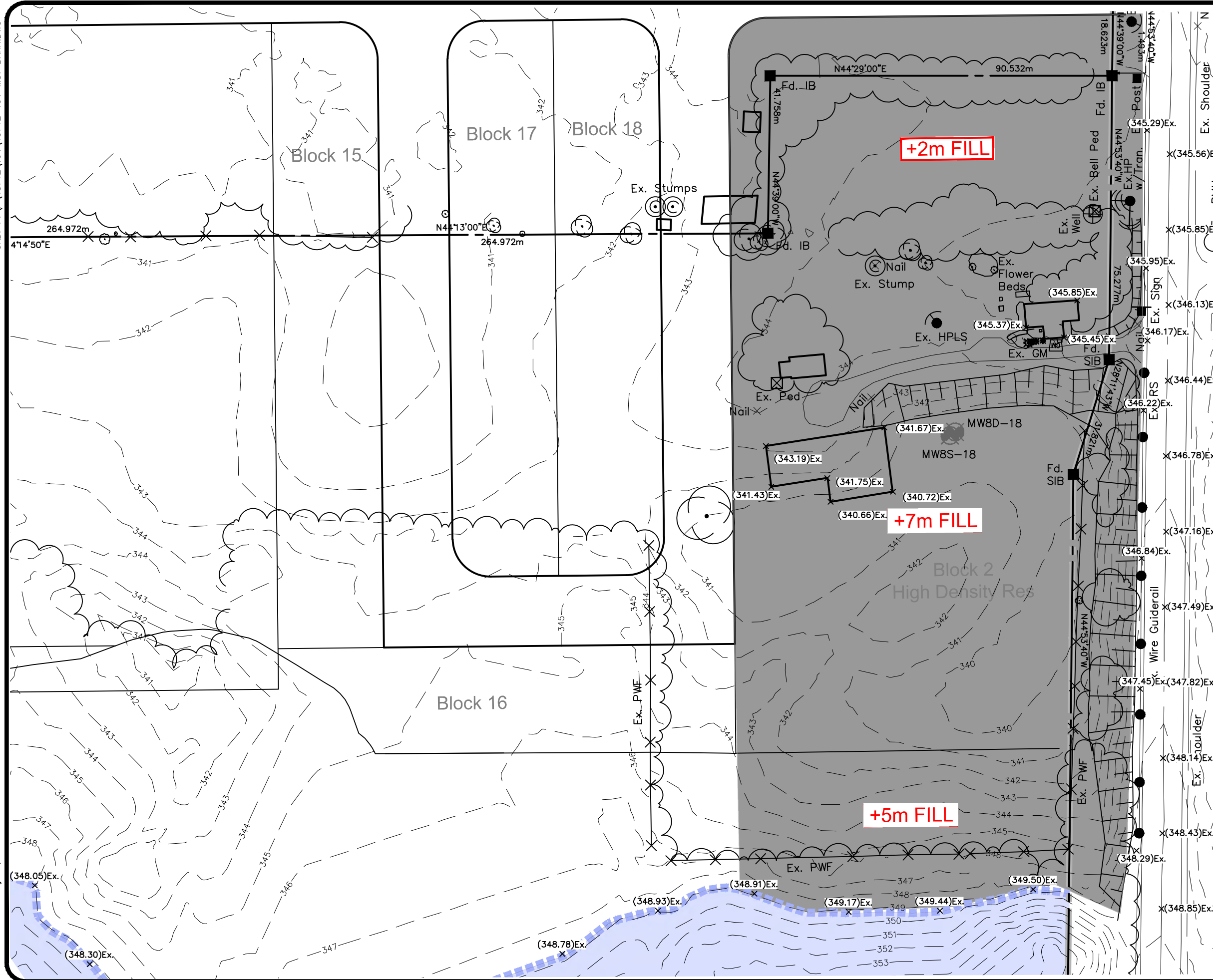
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- x [326.32] PROPOSED SPOT ELEVATIONS
- 1.0% → PROPOSED DIRECTION OF DRAINAGE

TO BE READ IN CONJUNCTION WITH FIGURE 3.1

PROJECT
257595 ONTARIO LTD.
2187 GORDON ST.

TITLE
CONCEPTUAL GRADING PROFILES

Drawn GEHWSS	Scale 1:1000	Figure 3.3
Checked KXK	Project No. 43742-104	
Date 2024-01-23	Rev No. 0	



GORDON STREET

LEGEND

AREA TO BE FILLED TO IMPLEMENT THE PREFERRED COMMUNITY STRUCTURE AND THE MASTER ENVIRONMENTAL SERVICING PLAN

- AREA TO BE FILLED TO IMPLEMENT THE PREFERRED COMMUNITY STRUCTURE AND THE MASTER ENVIRONMENTAL SERVICING PLAN
- SITE BOUNDARY
- PROPOSED LIMIT OF SIGNIFICANT LANDFORM
- EXISTING SPOT ELEVATIONS /CONTOURS

MTE
Engineers, Scientists, Surveyors

PROJECT
**257595 ONTARIO LTD.
2187 GORDON ST.**

TITLE
FILL AREA REQUIRED FOR DEVELOPMENT

Drawn GEHWSS	Scale 1:1000	Figure 3.4
Checked KXX	Project No. 43742-104	
Date 2024-01-23	Rev No. 0	

**APPENDIX F – GSP GROUP – IMPACTS OF
EXISTING BARN & DWELLING ON THE
IMPLEMENTATION OF THE CLAIR-MALTBY
SECONDARY PLAN, 2187 GORDON
STREET, GUELPH**



MEMO

DATE: February 2, 2024 File No. 17205

TO: Brad Trussler, 2575950 Ontario Ltd.
Jennifer Meader, TMA Law

FROM: Hugh Handy, MCIP, RPP
Vice President
GSP Group
Email hhandy@gspgroup.ca
Direct 226-243-7296
Cell 519-242-5351

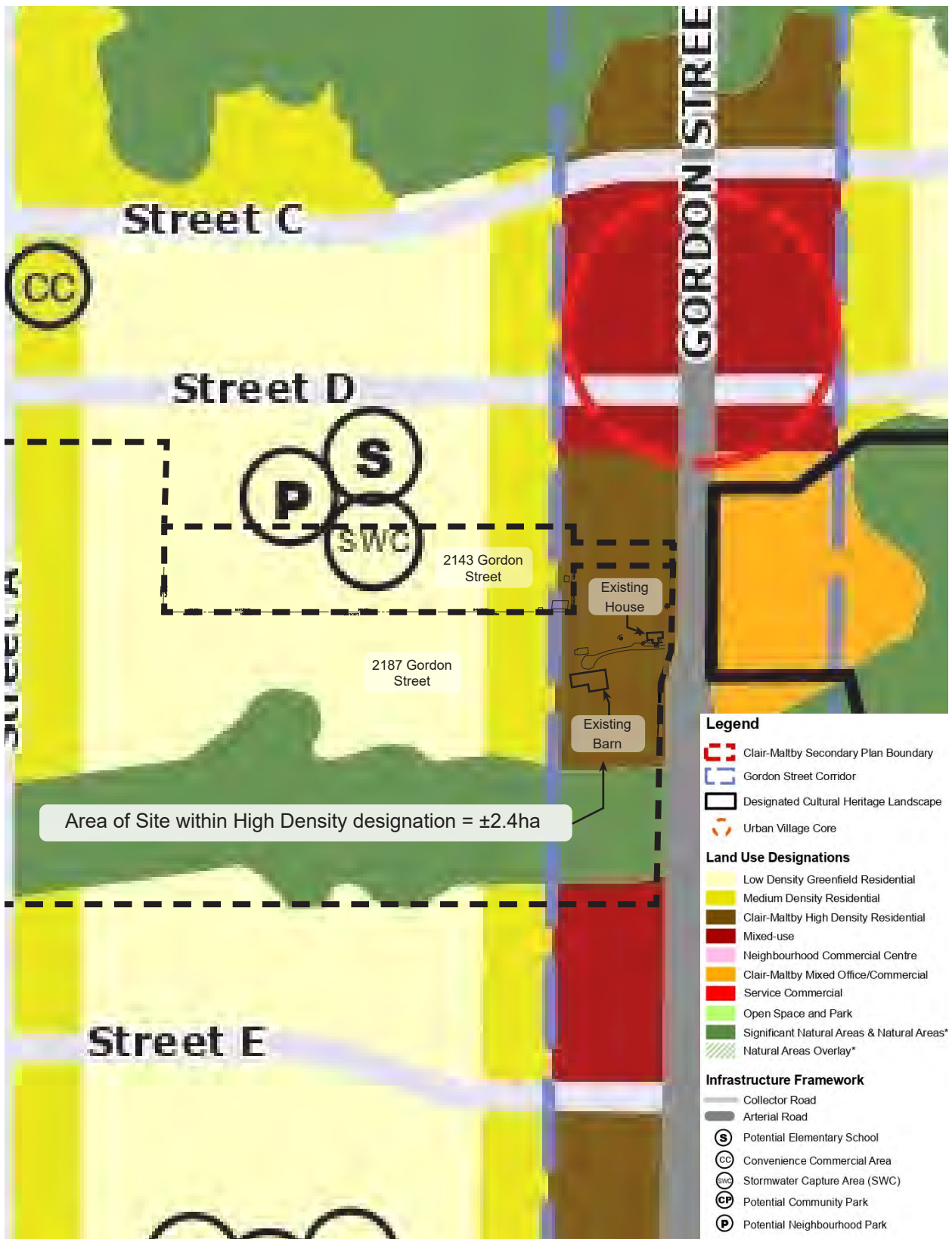
CC: Meghan Rivard, Stantec
Jeff Martens, Steve Peterson, and Paul Slater, MTE

Re: **Impacts of Existing Barn & Dwelling on the Implementation of the
Clair-Maltby Secondary Plan
2187 Gordon Street, Guelph**

This memo has been prepared in relation to the demolition permit for the existing barn and dwelling structure on 2187 Gordon Street. The total land holdings of 2575950 Ontario Ltd. are comprised of two (2) properties being 2187 Gordon Street and 2143 Gordon Street ("Site"). The Site has a total land area of approximately 40 hectares (98 acres). The Site is located on the west side of Gordon Street between Clair Road and Maltby Road.

In preparing this memo we have reviewed Cultural Heritage Resource Impact Assessment ("CHRIA") prepared by Stantec dated January 23, 2024 regarding the barn's structural condition, and the memo prepared by MTE ("MTE Memo") regarding conceptual grading dated January 30, 2024. We have also reviewed the Structural Assessment letter prepared MTE dated January 23, 2024.

We have also reviewed the revised OPA 79 ("Revised OPA") dated November 21, 2023 contained in Melissa Aldunate's Ontario Land Tribunal Witness Statement dated December 18, 2023. The Revised OPA establishes the Clair-Maltby Secondary Plan ("CMSP") and applies to the Site. The Revised OPA, which is under appeal before the Tribunal, was presented to the Tribunal for partial approval on consent of all parties at a settlement hearing



held on January 25, 2024. The Tribunal gave an oral decision, approving the policies discussed in this memo, as they apply to the Site.

Guelph and CMSP Planning Policy Review

The Site has several different land use designations as shown on Schedule B – Land Use Plan of the CMSP. Along the front portion of the Site where the existing barn and house are located, it is designated Clair-Maltby High Density Residential (see Figure 1). The Site also has a mixture of Medium Density and Low Density Residential designations. There are also significant portions of the Site that are designated Significant Natural Areas & Natural Areas which will be protected.

The Clair-Maltby High Density Residential designation policies are contained in Section 11.3.8.6.4 of the CMSP. The full policies are highlighted below:

11.3.8.6.4 Clair-Maltby High Density Residential

1. In the Clair-Maltby High Density Residential designation development shall be subject to the following criteria:

Permitted Uses

2. The following uses may be permitted subject to the applicable provisions of this Plan:

a. Multiple unit residential buildings generally in the form of apartments.

Height and Density

3. Within the Gordon Street Corridor the minimum height is three (3) four (4) storeys and the maximum height is designated on Schedule D except within the Urban Rural Transition Area.

4. Outside of the Gordon Street Corridor the minimum height is three (3) storeys and the maximum height is ten (10) storeys.

5. The maximum net density is 250 units per hectare and not less than a minimum net density of 100 units per hectare.

6. The minimum Floor Space Index (FSI) shall be 1.5.

In terms of the Guelph Official Plan, the front portion of the Site also lies within the Strategic Growth Area (the “SGA” mirrors the Clair-Maltby High Density Residential designation) as shown on Schedule 1a: Urban Structure. Strategic Growth Areas allows for a maximum net density of up 250 units per hectare as per Section 9.5.4 (discussed further below).

According to Ms. Aldunate’s Witness Statement (Paragraph 138):

The City’s urban structure as approved by the Minister and shown on Schedule 1a of the Official Plan, directs the greatest heights and densities to the Downtown/Major

Transit Station Area, followed by other Strategic Growth Areas. Outside of the downtown, the highest net residential density is 250 units per hectare for High Density Residential and Commercial Mixed-use Centre and Mixed-use Corridor designations within Strategic Growth Areas. The High Density Residential designation in the CMSP also permits a maximum net residential density of 250 units per hectare. The tallest buildings in Guelph are permitted Downtown at 18 storeys. Outside of downtown, the maximum building height is 10 storeys except for Commercial Mixed-use Centre designations (14 storeys) and the Stone Road and Silvercreek Mixed-use Corridors (14 storeys). These permissions are set out in Official Plan Policies 9.3.4.4, 9.4.3.17, 9.4.3.19, 9.4.4.13. within CMSP, the tallest building height is 14 storeys within the Strategic Growth Area.

As noted in this excerpt, this area is expected to achieve significant density along Gordon Street Corridor which is shown on Schedule A – Community Structure . The Gordon Street Corridor will have an approximate width of 120 metres on each side of the Gordon Street right-of-way (Section 11.3.8.3.1).

Section 11.3.1.2 contains Guiding Principles and Objectives of the CMSP.

Principle 3: Vibrant and Urban of the CMSP contain two relevant policies:

5. *Design Gordon Street as the central spine of Clair-Maltby by concentrating higher density residential development and a mix of uses and providing connections to the Urban Village Core and Main Street Area.*
6. *Conserve the cultural heritage resources and honour the rural and agrarian past of Clair-Maltby.*

Point 5 under Principle 3 indicates the importance of this central spine for high density residential and a mix of uses along Gordon Street. In terms of Policy 6 under Principle 3 in specific cases this will be practical and achievable e.g., cultural heritage landscape and designation of built heritage resources at 2162 Gordon Street. In other cases, due to requirements for development this is not practical or achievable. The preservation of the barn given its size and the location of the barn and the house is difficult to redevelop for high density residential uses.

Section 11.3.2.1 of the CSMP provides direction for managing growth and the community structure. Section 11.3.2.1.1 states:

Growth shall generally occur from north to south and west to east, with priority being given to development in the Gordon Street Corridor...

Section 11.3.2.1.4 further states:

Within the overall targets, the target for the Gordon Street Corridor as identified on Schedules A, B and D is approximately 4,100 people and 500 jobs.

These two policies highlight the importance of the Gordon Street Corridor for accommodating growth of people and jobs within the CMSP.

Section 11.3.2.2 contains policies related to the overall elements of the Clair-Maltby Community Structure: Section 11.3.2.2.3 states:

The Gordon Street Corridor as identified on Schedules A, B and D will be an integrated, compact and mixed-use district that provides opportunities to live and work close to services. It will provide a range of built form conditions, varying along the corridor to protect, highlight and give prominence to the Natural Heritage System, areas of significant topography, and cultural heritage resources, while allowing for vibrant urban development to occur at transit-supportive densities. The Gordon Street Corridor will accommodate the highest density in Clair-Maltby anchored by the Urban Village Core and its Main Street Area. Direct vehicular access onto the corridor will be limited. Direct access from local roads and individual properties may be permitted where it can be demonstrated that such direct access does not interfere with the primary function of the corridor. The Gordon Street Corridor will also include:

- a. areas with taller residential and/or mixed-use buildings; and*
- b. areas where the existing Natural Heritage System and cultural heritage resources are protected; and*
- c. development designed to minimize and restore alterations to hummocky topography in accordance with the significant landform policies of this Plan and the Official Plan.*

In my opinion the above-noted policy is seeking to provide a “framework for the balanced development of interconnected and sustainable neighbourhoods focused on the Gordon Street Corridor” (excerpt from Section 11.3.2.2 of the CMSP). With that said the protection of cultural heritage attributes must be balanced with accommodating significant growth and the highest densities in Clair-Maltby area.

Section 11.3.4 contains the Cultural Heritage policies in the CMSP. Section 11.3.4.1.3 states:

Future development shall conserve and carefully incorporate identified built heritage resources or cultural heritage landscapes into future development as they contribute to an understanding of the agricultural history of this area of the city. Through the implementation of this Secondary Plan, it is the intent to evaluate, manage and conserve the existing cultural heritage resources that provide a link to the agricultural past of the area.

We understand the merit and requirement to conserve built heritage resources and cultural heritage landscapes. However, one needs to balance conservation with a full understanding of the requirements related to future grading required to accommodate roads, servicing, parks/trails, and other land uses including achieving the high density residential targets for the area. At this stage, the full design of the future subdivision and the blocks within that subdivision, especially the high density area which the barn and house are located within have not been fully designed. However, based on details contained in the MTE Memo, with respect to preliminary grading, significant grading and up to seven (7) metres of fill will be required on the front portion of the Site to construct roads, services, and stormwater management, including preparation areas for future residential use, parks/trails, and stormwater management areas.

The land area of the Clair-Maltby High Density Residential designation on the Site is approximately 2.4 hectares (see Figure 1). If this area is not able to be developed due to the protection of the barn and house in situ this could result in a reduction of 200 to 600 units and therefore hinder the ability of the CMSP to meet its intended density targets. With a portion of the Site being situated in the Clair-Maltby High Density Residential designation within the Gordon Street Corridor, these lands are to be developed with multiple unit residential buildings generally in the form of apartments.

Further, the barn and house had an agricultural purpose but have not been actively used for decades. This agricultural context will be lost if they are kept in situ within a high density residential area.

Conclusions

The policies of the Guelph Official Plan and CMSP encourage and support significant density and growth within the Strategic Growth Area and the Clair-Maltby High Density Residential designation. With that in mind one needs to take a balanced approach with respect to heritage conservation and preservation to ensure the high density area is fully and efficiently developed to achieve the density targets and overall design of the subdivision can be implemented in a reasonable manner.