

RESIDENTIAL:
GARAGE CONVERSION
(DETACHED DWELLING UNIT)

82 ERAMOSA ROAD
 GUELPH, ON.



| DRAWING LIST | |
|--------------|---|
| NO. | SHEET NAME |
| A0.0 | COVER PAGE |
| A1.0 | GENERAL ABBREVIATIONS, NOTES, SYMBOLS, CODE |
| A2.0 | MAIN FLOOR DEMOLITION PLAN |
| A2.1 | MAIN FLOOR PROPOSED PLAN |
| A3.0 | SECOND FLOOR PROPOSED PLAN |
| A4.0 | PROPOSED BUILDING ELEVATION |
| A4.1 | PROPOSED BUILDING ELEVATION |
| A4.2 | PROPOSED BUILDING ELEVATION |
| A5.0 | BUILDING SECTIONS |
| SP1.0 | SITE PLAN |

GENERAL NOTES

- UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN.
- ALL WORK ON THIS PROJECT SHALL CONFORM TO THE 2012 r2020 ONTARIO BUILDING CODE (OBC 2012 r2020), ANY LOCAL REGULATIONS AND BYLAWS, AND THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA) AND CURRENT REGULATIONS FOR CONSTRUCTION PROJECTS. ALL CODES AND STANDARDS SHALL BE THOSE REFERENCED IN OBC 2012 r2020.
- ALL STANDARDS ARE TO BE THE YEAR, EDITIONS, DOCUMENT NUMBERS, ETC AS PER OBC 2012 r2020 DIVISION B, T.1.3.1.2. WHERE DISCREPANCIES EXIST BETWEEN OUR DRAWINGS AND T.1.3.1.2, THE TABLE SHALL GOVERN UNLESS NOTED OTHERWISE.
- THIS SET OF DRAWINGS SUPERCEDES AND REPLACES ALL PREVIOUS DRAWINGS.
- READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS ON SITE.
- IF ANY DISCREPANCIES ON THE DRAWINGS EXIST, THE MOST STRINGENT SHALL APPLY.
- DIMENSIONS TO EXISTING WALLS ARE TO FINISHED FACE.
- ALL PROPOSED DIMENSIONS ARE TO WOOD FRAMING/STRUCTURE.
- DRAWINGS ARE NOT TO BE SCALED.

STRUCTURAL NOTES

- DESIGN LOADS
 SNOW = 1.45 kPa (Ss = 1.9 PART 9 DESIGN, GUELPH)
 ROOF DEAD = 0.75 kPa
 FLOOR DEAD = 0.5 kPa
 FLOOR LIVE = 1.9 kPa
 ASSUMED BEARING CAPACITY = 75 kPa
- ALL GUARDS TO BE IN CONFORMANCE WITH OBC 2012
- ALL LUMBER TO BE SPF No. 1/2 OR BETTER
- ALL BUILT UP BEAMS TO HAVE CONTINUOUS PLYS BETWEEN SUPPORTS AS SHOWN ON PLAN
- FASTEN BUILT UP MEMBERS TOGETHER WITH (3) 3" NAILS AT 12" O.C.
- USE JOIST HANGERS WHERE MEMBERS FRAME INTO THE SIDE OF SUPPORTING MEMBERS
- STEEL BEAMS SHALL BE NEW MATERIAL GRADE 350W.

| PLAN LEGEND | |
|-------------|--|
| SYMBOL | DISCRPTION |
| S.A. | HARDWIRED INTERCONNECTED VISUAL AND AUDIBLE SMOKE ALARM *(1.) |
| C.M.D. | HARDWIRED INTERCONNECTED VISUAL AND AUDIBLE CARBON MONOXIDE ALARM |
| | PROVIDE MIN. 50 CFM FAN FOR, VENT DIRECTLY TO THE EXTERIOR |
| P.L. | PROPOSED POINT LOAD FROM ABOVE. PROVIDE BLOCKING WITH IN FLOOR JOIST SPAN BELOW COLUMN ABOVE |
| | BUILT-UP STUD POST (REFER TO PLANS FOR SIZES) |
| | STRIP FOOTING, REFER TO SCHEDULE |
| | WALL TYPE, REFER TO SCHEDULE |
| | EXISTING WALL TO REMAIN, SHOWN SHADED |
| | EXISTING DOOR TO REMAIN, SHOWN AT 45° |

NOTE:
 1. FOR ALL RENOVATIONS AND ADDITIONS SMOKE ALARMS MAY BE BATTERY OPERATED (TABLE 11.5.1.1.C175)

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| 3 | 24.03.15 | ISSUED FOR PERMIT |

TACOMA
 ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OBC Div.C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

- Building Structural
- Complex Building
- Large Building
- Small Building

Designer: [Redacted]
 Designer BCIN: 39864
 Date: MAR. 18, 2024



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COVER PAGE

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BUILDING CODE NOTES:

ADDITIONAL DWELLING UNIT:
(DETACHED)

GENERAL NOTES:

- ENSURE MINIMUM 6'-5" HEAD HEIGHT THROUGH APARTMENT INCLUDING BELOW BULKHEADS

HOST DWELLING UNIT AREA CALCULATION:

MAIN FLOOR AREA = 157.03 m²
 SECOND FLOOR = 157.03 m²
 TOTAL AREA = 314.06 m²

(AREAS TAKEN TO OUTSIDE OF EXTERIOR WALLS OR TO CENTER OF INTERIOR WALLS)

DETACHED GARAGE AREA CALCULATION:

MAIN FLOOR AREA = 38.31 m²
 SECOND FLOOR = 38.31 m²
 TOTAL AREA = 76.62 m²

(AREAS TAKEN TO OUTSIDE OF EXTERIOR WALLS OR TO CENTER OF INTERIOR WALLS)

PROPOSED DETACHED DWELLING AREA :

MAIN FLOOR AREA = 8.81 m²
 SECOND FLOOR AREA = 33.54 m²
 TOTAL AREA = 42.35 m²

(AREA TAKEN TO INSIDE OF EXTERIOR WALLS OR TO CENTER OF INTERIOR WALLS)

PERCENT OF ADDITIONAL UNIT TO HOST DWELLING: 13.48%
 PERCENT OF ADDITIONAL UNIT TO DETACHED GARAGE: 55.27%

SEPARATION OF SUITES:

REQUIRED = SUITES SEPARATED FROM STORAGE GARAGES (9.10.9.16 (2))
 STORAGE GARAGES CONTAINING 5 MOTOR VEHICLES OR FEWER SHALL BE SEPARATED FROM OTHER OCCUPANCIES BY A FIRE SEPARATION OF NO LESS THAN 1 HOUR.

EGRESS FROM A DWELLING UNIT:

AN EXIT DOORWAY NOT MORE THEN 1500mm ABOVE ADJACENT GROUND LEVEL PROVIDES EXIT TO THE EXTERIOR WITHIN 1 STOREY

NATURAL LIGHT:

WINDOW AREA BELOW MEET THE REQUIREMENTS OF 9.7.2.3 BD PART 11 C107

BACHELOR APARTMENT:

WINDOW AREA:
 44"(1.118m) x 53"(1.346m) = 1.505m²
 44"(1.118m) x 38"(0.965m) = 1.079m²
 24"(0.609m) x 36"(0.914m) = 0.557m²
 TOTAL AREA: = 3.141m²

ROOM AREA (319 ft²) = 29.64m²
 PERCENTAGE = 10.60%

WALL SCHEDULE

EXTERIOR WALLS

W1 EXTERIOR BRICK WALL

- EXISTING BRICK VENEER
- EXISTING AIR SPACE
- EXISTING SHEATHING
- EXISTING WOOD STUDS
- NEW BATT INSULATION (R14)
- NEW 6mil. VAPOUR BARRIER
- NEW 1/2" GYPSUM BOARD

W2 EXTERIOR SIDING WALL

- EXISTING SIDING TO BE REMOVED AND REPLACED WITH NEW VERTICAL VINYL SIDING
- NEW AIR BARRIER
- EXISTING SHEATHING
- EXISTING WOOD STUDS
- NEW BATT INSULATION (R14)
- NEW 6mil. VAPOUR BARRIER
- NEW 1/2" GYPSUM BOARD

INTERIOR WALLS

P1 INTERIOR PARTITION

- 1/2" GYPSUM BOARD
- 2x4 WOOD STUDS @ 16" O.C
- 1/2" GYPSUM BOARD

**P2 INTERIOR SEPARATION PARTITION
SEPARATION BETWEEN OCCUPANCIES
60 MIN. FIRE SEPARATION (SB.3) - W2a**

- 2 LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD
- 2x6 WOOD STUDS @ 16" O.C
- ABSORPTIVE INSULATION
- 2 LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD

**FRR=60 MIN.
STC=38**

P3 INTERIOR STAIR PARTITION (TALL WALL)

- 2 - 2x4 WOOD STUDS @ 16" O.C
- BATT INSULATION (R14)
- 6mil. POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD

TALL WALL CONSTRUCTION

- 2 - 2x4 WOOD STUDS @ 12" O.C
- BLOCKING AT 4'-0" O.C
- FASTEN TOP AND BOTTOM PLATE WITH 3 1/2" TOE-NAILS
- DOUBLE TOP PLATES TO BE FASTENED TOGETHER WITH 3 1/2" NAILS @ 8" O.C
- BOTTOM PLATE TO BE FASTENED TO FLOR JOISTS, RIM BOARD WITH NOT LESS THAN 3 1/2" NAILS @ 8" O.C

FLOOR AND ROOF SCHEDULE

FLOORS

F1 EXISTING WOOD FLOOR CONSTRUCTION

- EXISTING WOOD SHEATHING
- EXISTING WOOD JOISTS @ 16" O.C
- MINERAL WOOL INSUALTION
- EXISTING 5/8" TYPE 'X' GYPSUM BOARD

**INTERIOR FLOOR SEPARATION
SEPARATION BETWEEN OCCUPANCIES
60 MIN. FIRE SEPARATION (SB.3) - F9.c**

- EXISTING WOOD SHEATHING
- EXISTING WOOD JOISTS @ 16" O.C
- ABSORPTIVE INSULATION
- 5/8" TYPE 'X' GYPSUM BOARD

**FRR=60 MIN.
STC=52**

ROOFS

R1 TYPICAL SLOPED ROOF

- EXISTING 25 YEAR ASPHALT SHINGLES
- EXISTING TAR PAPER THROUGHOUT ROOF
- EXISTING ROOF SHEATHING
- EXISTING 2x6 S.P.F. ROOF JOSITS
- EXISTING INSULATION
- EXISTING 2x6 COLLAR TIES
- EXISTING 6 MIL POLY VAPOUR BARRIER
- EXISTING 1/2" GYPSUM BOARD, TAPED AND SANDED

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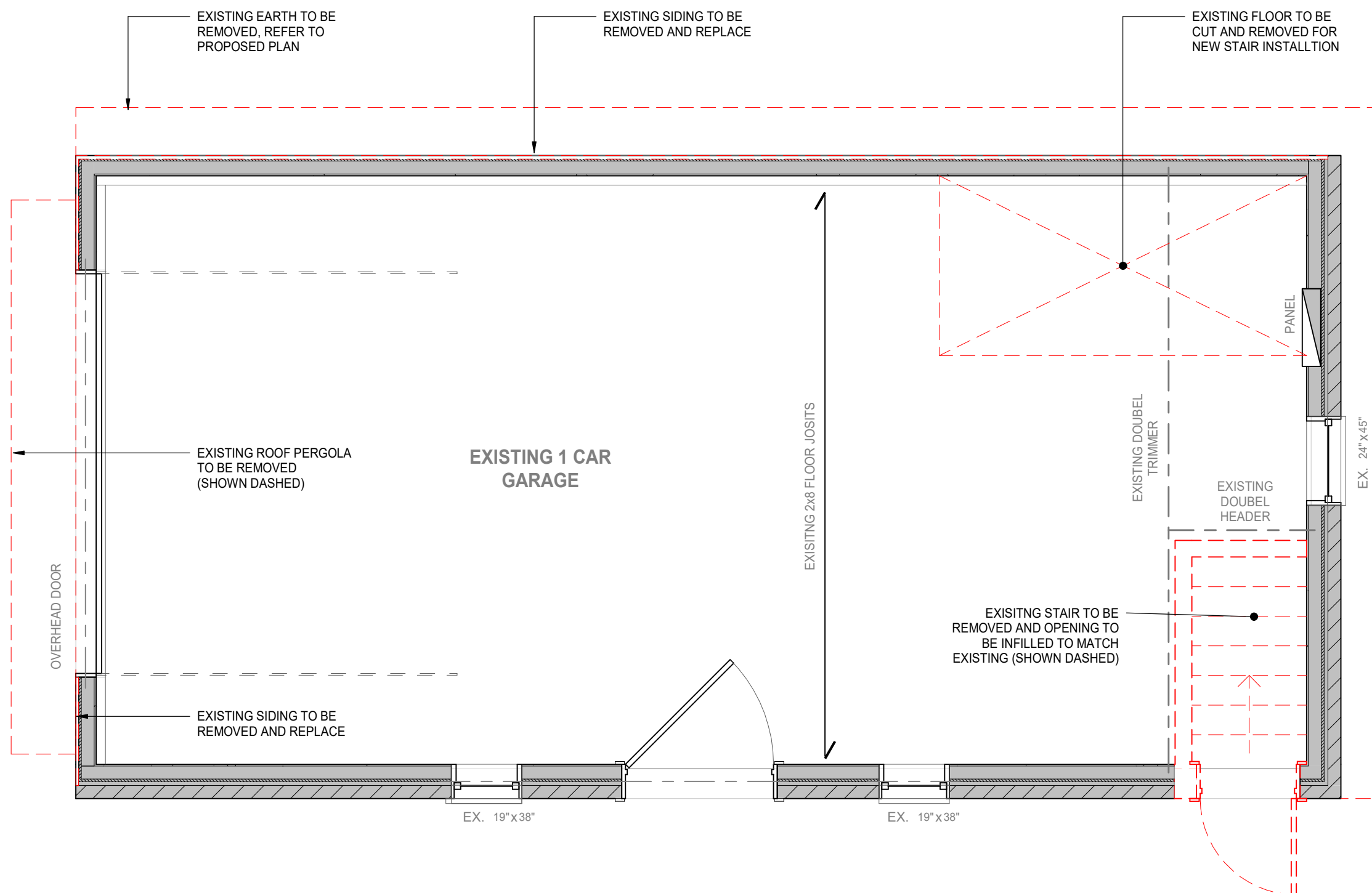
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MAIN FLOOR DEMOLITION PLAN

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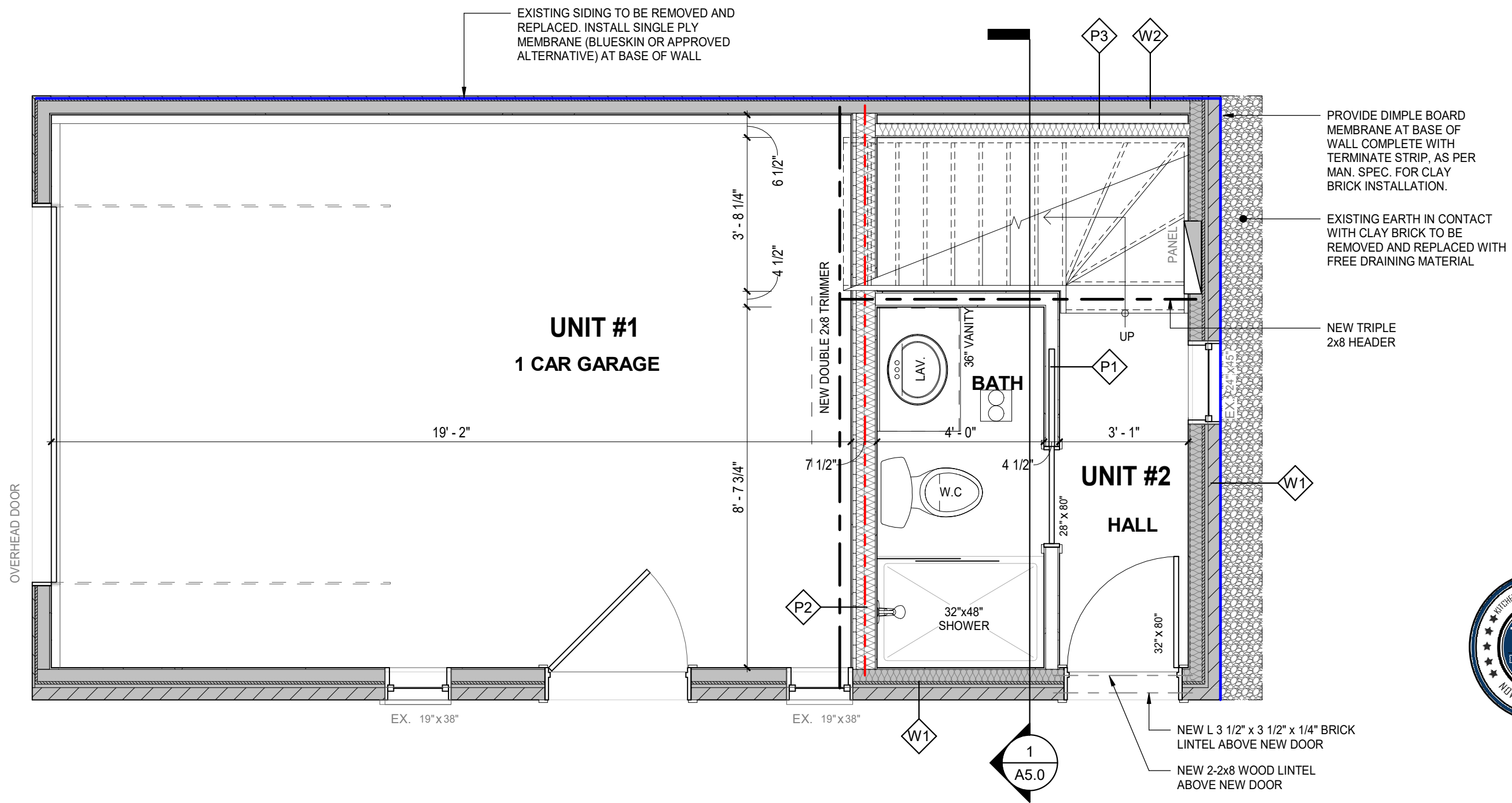
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MAIN FLOOR DEMO PLAN
3/8" = 1'-0"



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MAIN FLOOR PROPOSED PLAN

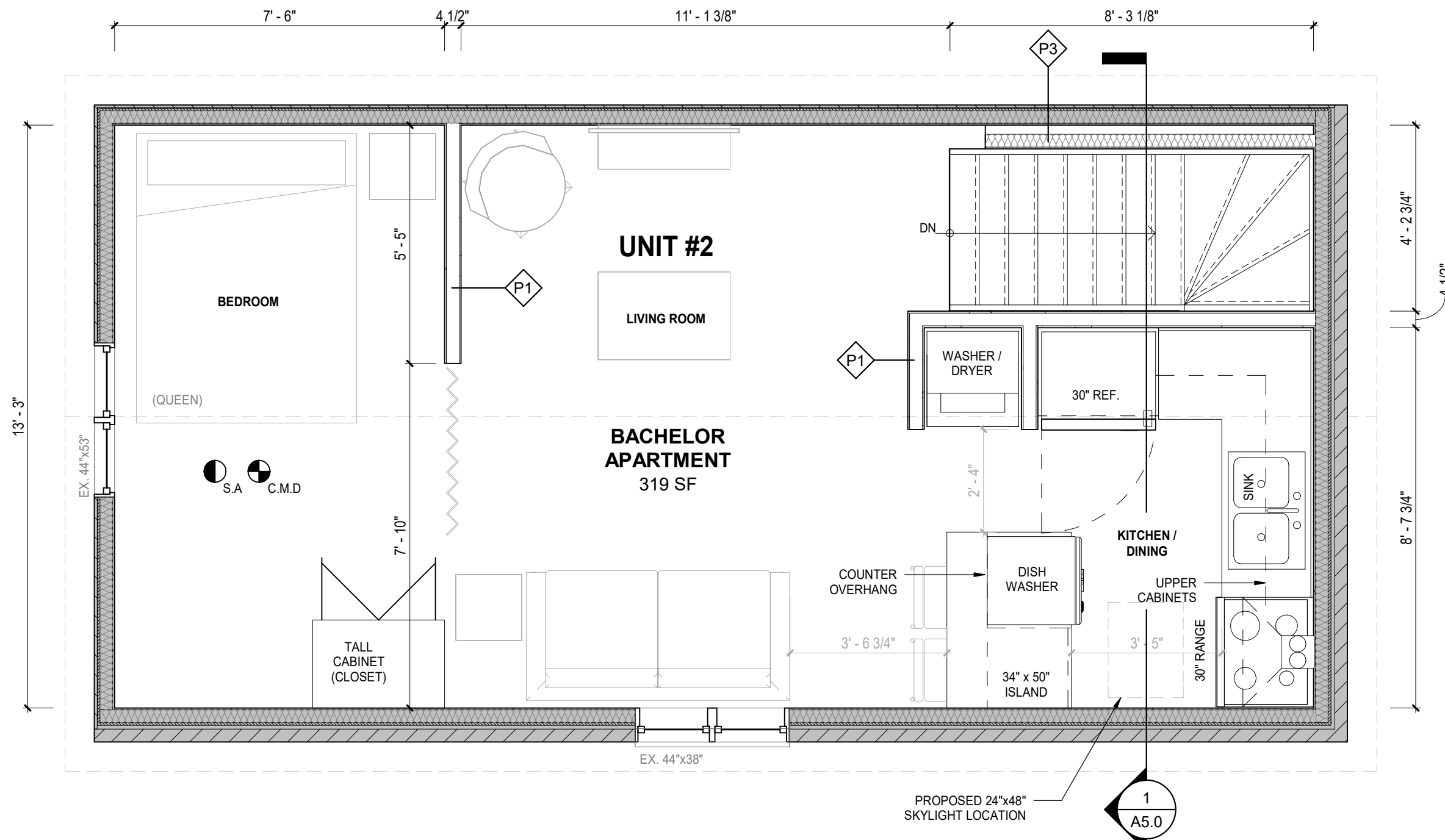
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A2.1

MAIN FLOOR PROPOSED PLAN
3/8" = 1'-0"



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SECOND FLOOR PROPOSED PLAN
3/8" = 1'-0"

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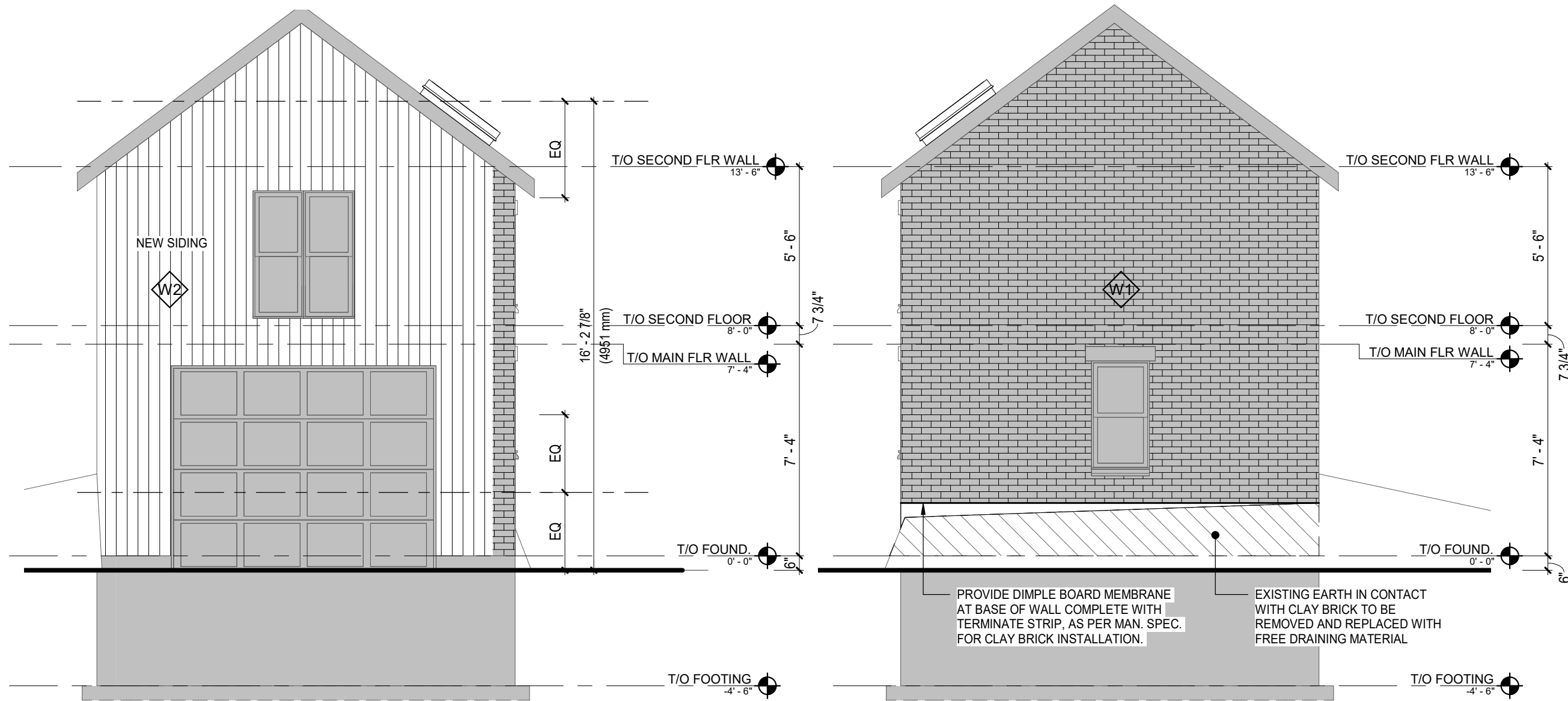
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SECOND FLOOR PROPOSED PLAN

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2 FRONT BUILDING ELEVATION
1/4" = 1'-0"

1 REAR BUILDING ELEVATION
1/4" = 1'-0"

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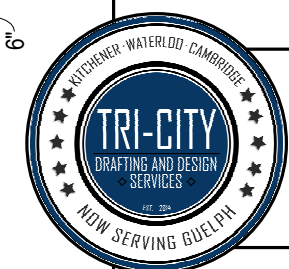
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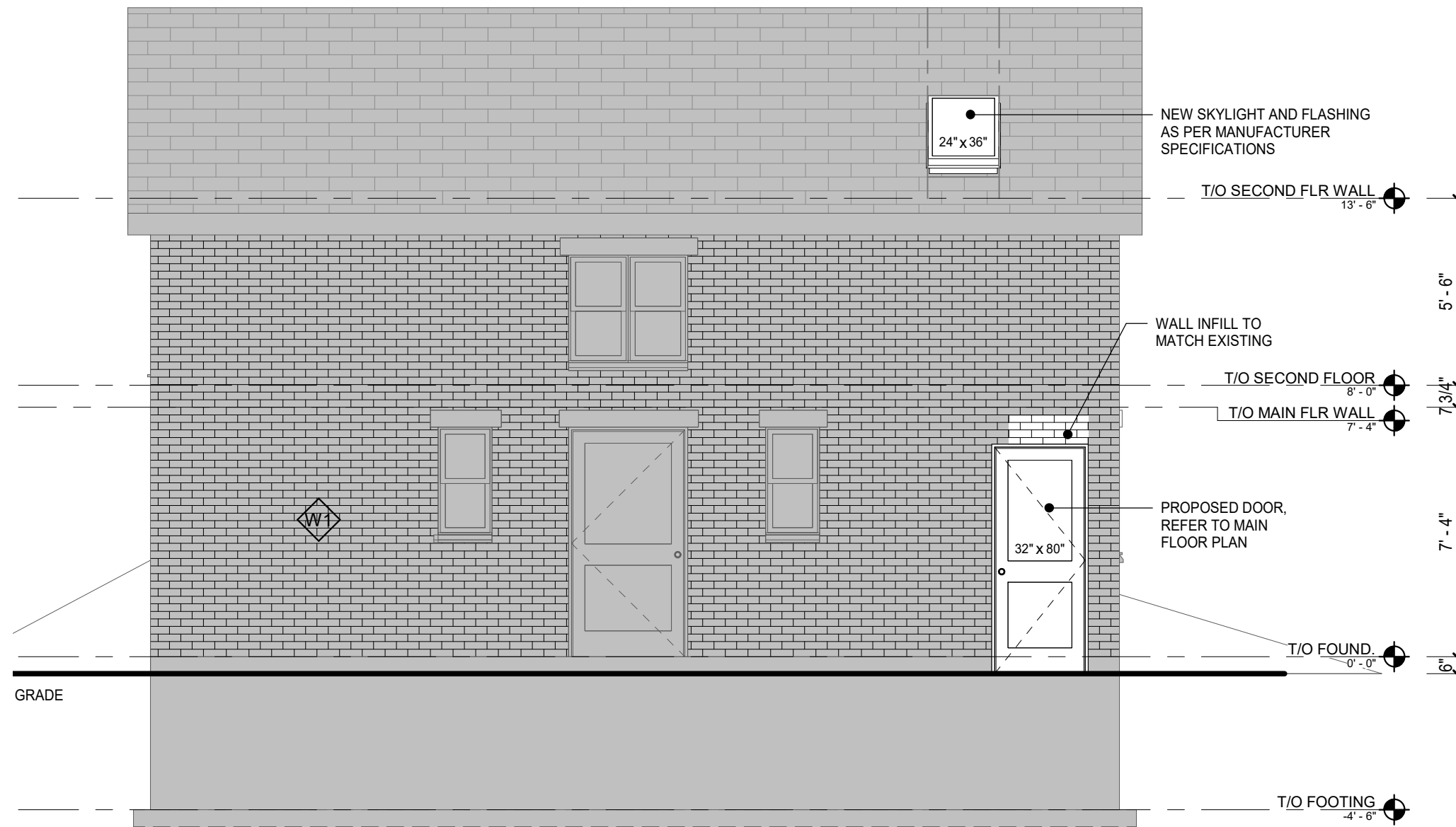
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PROPOSED BUILDING
ELEVATION

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A4.0

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1
A4.1 RIGHT BUILDING ELEVATION
1/4" = 1'-0"

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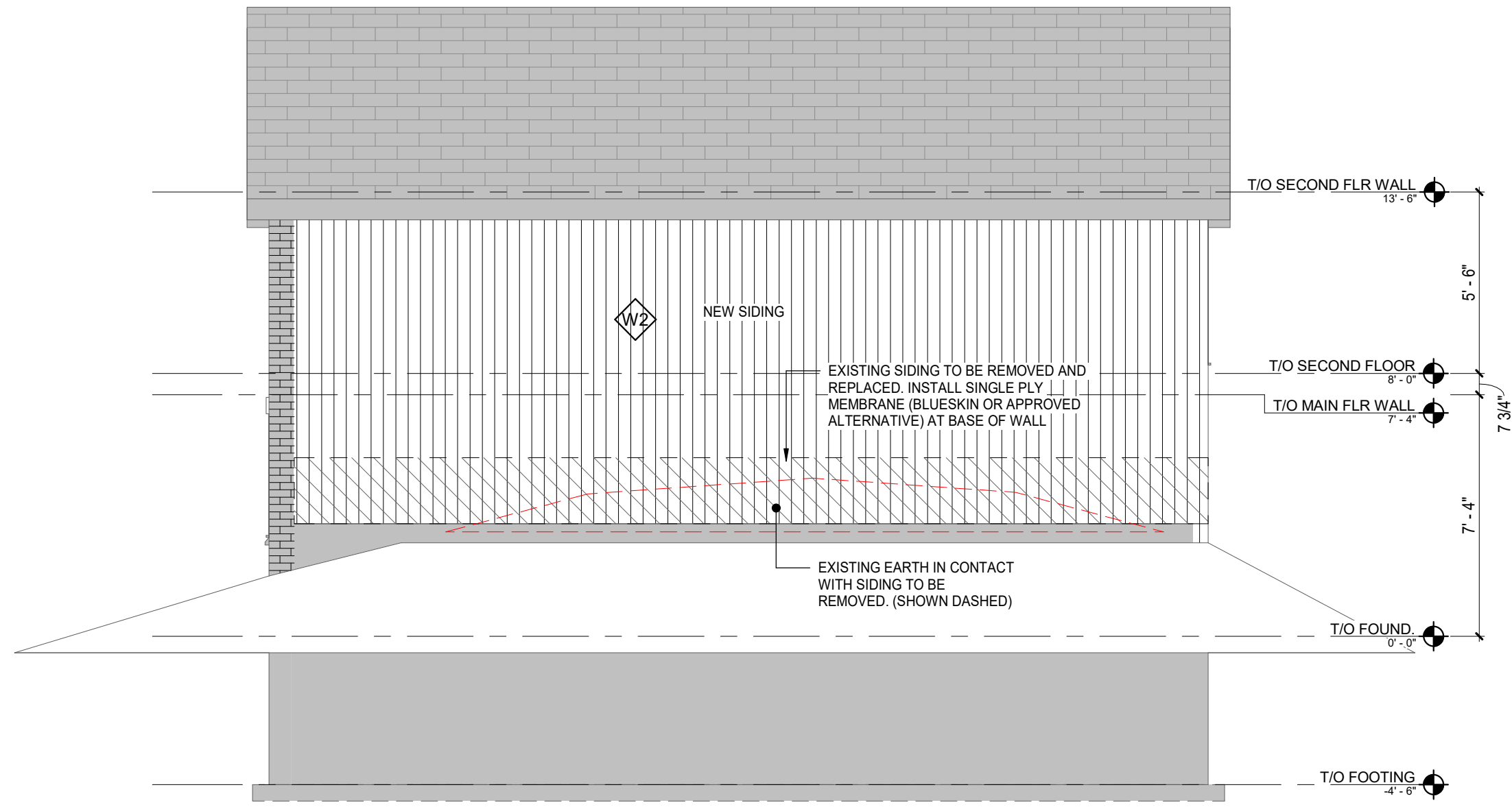
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**PROPOSED BUILDING
ELEVATION**

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A4.1

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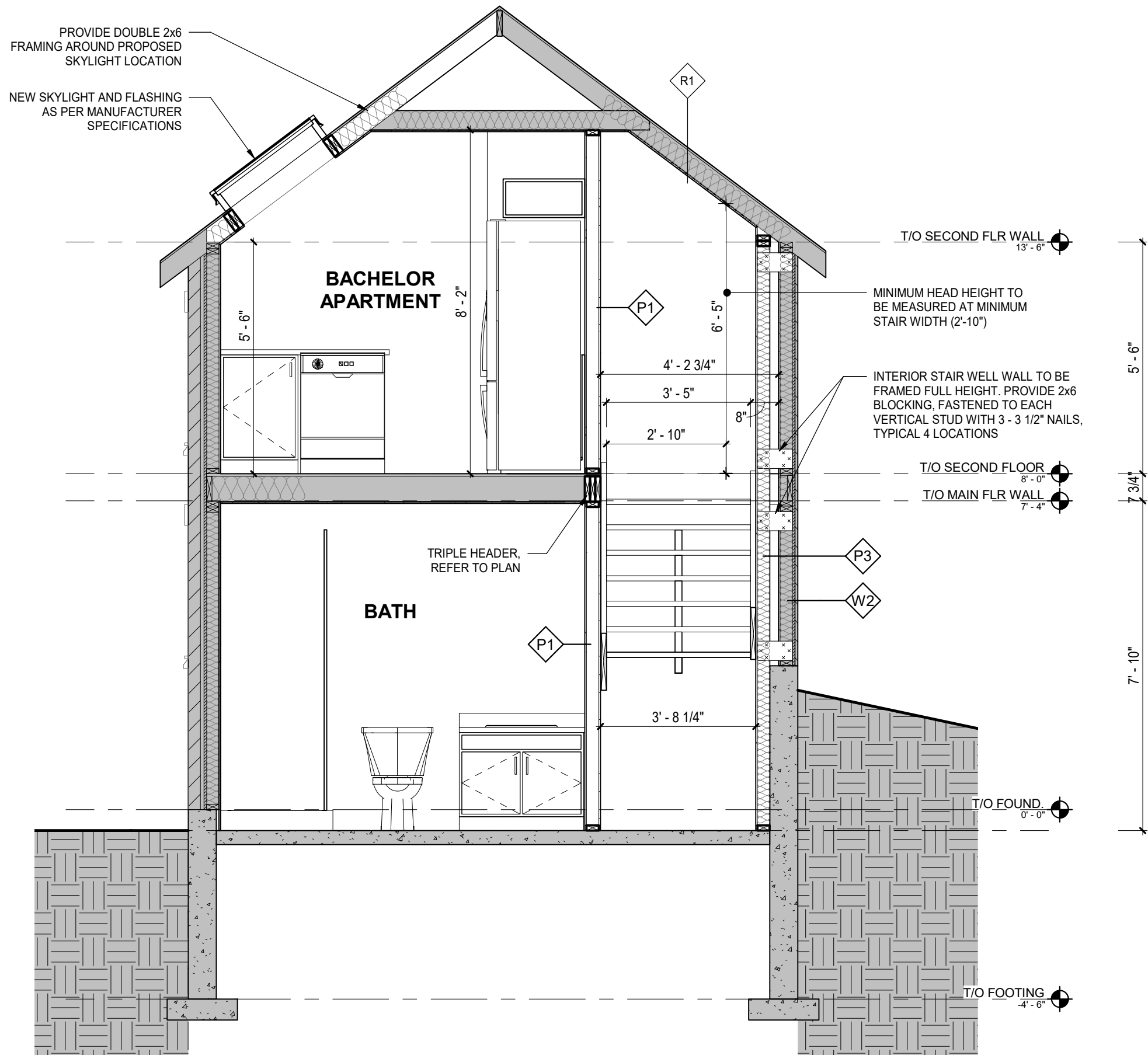
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**PROPOSED BUILDING
ELEVATION**

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1
A4.2
LEFT BUILDING ELEVATION
1/4" = 1'-0"

A4.2



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BUILDING SECTIONS

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A5.0

1
A5.0
 BUILDING SECTION #1
 3/8" = 1'-0"